



**CITY OF PACIFIC GROVE**  
300 Forest Avenue, Pacific Grove, California 93950

**AGENDA REPORT**

**TO:** Architectural Review Board

**FROM:** Laurel O'Halloran, Associate Planner

**MEETING DATE:** June 13, 2017

**SUBJECT:** Architectural Permit (AP) 16-1068 to rebuild the main floor including an addition of 31 square feet to also allow an upper floor addition of 887 square feet including a 218 square feet balcony for a total residence of 3,526 square feet.

**ADDRESS:** 648 Pine Avenue (APN 006-297-006)

**ZONING/  
LAND USE:** R-4/ Multiple Family Residential/Professional office District

**APPLICANT:** Aaron Tollefson, on behalf of Anthony and Heide Payan, Owners

**CEQA:** Categorical Exemption, Section 15301(e)(1)

**PROJECT DESCRIPTION**

Architectural Permit 16-1068 would allow rebuilding the main floor including an addition of 31 square feet to also allow an upper floor addition of 887 square feet including a 218 square feet balcony for a total residence of 3,526 square feet.

**BACKGROUND**

On December 21, 2016 Aaron Tollefson applied for an Architectural Permit to allow the remodel and addition of the existing two story residence located at 648 Pine Avenue.

The proposed development will meet the development regulations set forth in the R-4 zoning district including setbacks and height requirements.

The residence is also located in an Area of Special Biological Significance.

**DISCUSSION**

The subject site currently is used as upper floor office space and a lower floor 667 sf living space with a 638 sf covered 2-car garage with a work out area. The proposed plans would remove all of the upper floor interior office space and create a living area with major alterations and improvements to the exterior of the subject residence. The lower floor interior would remove the kitchen and create a living room area and retain the existing bedroom and bathroom with alterations and improvements to the exterior.

The property is located in an Area of Special Biological Significance

The following General Plan, Archaeological Resources, Chapter 7 and Chapter 8, goals, policies, and programs are applicable to the Architectural Permit application.

Policy 2 Continue to require citywide architectural review for exterior changes to existing structures.

Program B While recognizing the individuality of existing neighborhoods encourage additions that contribute to the character of the area, while allowing for creativity in design.

Zoning Code

The proposed project is in conformance with all requirements of the R-4 zone, including but not limited to setbacks, height limits, and site coverage.

The proposed project will have a building coverage of 38%, which is within the allowable maximum building coverage of 50%, pursuant to P.G.M.C. 23.16.040. The proposed project will have site coverage of 44%, which is within the allowable maximum site coverage of 60%.

The proposed project will have a gross floor area 3,526 square feet

The proposed addition has a building height of 29'6" which is under the allowable 30'

Trees and Landscaping:

No tree removal is being proposed as part of this development. The City Arborist will insure that tree protection measures are being met.

Architectural Design Guidelines:

The project proposal appears to adhere to the following Architectural Review Guidelines:

***Architectural style and design:***

Diverse architectural styles lie at the heart of Pacific Grove's distinctive character. New construction should be compatible with established styles.

*Guideline #28: An addition should complement and balance the overall form, mass, and composition of the existing building.*

The proposed addition complements and improves the existing building.

*Guideline #32: A building should have an overall proportional orientation that is similar to other structures in the setting:*

The proposed addition complements the neighborhood. There are newer buildings as well as altered historic buildings. The siding and window choices complement the surrounding buildings.



*Guideline #36: Design a façade to provide visual interest to the street.*

There is a creative use of details that contribute to create an interesting façade.

Details:

The proposed project will have new exterior clapboard wood siding. The windows will be “Jeldwen” premium Atlantic vinyl casement. The exterior color is white with a charcoal composition roof.

**ENVIRONMENTAL REVIEW**

The project qualifies for a Class 1 exemption from CEQA requirements, pursuant to Section 15301(e) (1) – Existing Facilities. The proposed addition and alterations do not present any unusual circumstances that would result in a potentially significant environmental impact. The proposed alterations do not constitute a substantial adverse change to the structure, thus conforming to the requirements of the California Environmental Quality Act (CEQA).

**RECOMMENDATION**

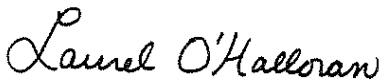
Because of the project’s consistency with the Zoning Ordinance and General Plan, and minimal impact on surrounding properties, staff recommends that the Architectural Review Board:

APPROVE AP No 16-1068 pursuant to PGMC 23.70.060(c)(1) and subject to the attached Findings and Conditions.

**ATTACHMENTS**

- A. Permit Application
- C. Draft Permit
- E. CEQA Documentation
- F. Project Plans

RESPECTFULLY SUBMITTED:



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Laurel O'Halloran  
Associate Planner



# CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

## Permit Application

Application # AP16 1068 <sup>Item 8c</sup>

Date: 12-21-16

Total Fees: 33 59.80

Received by: \_\_\_\_\_

APPLICANT/OWNER:	Project Address: <u>648 Pine Avenue</u> APN: <u>006-297-006</u>	
	Project Description: <u>Rebuild existing main level of residence, 1,271 SF,</u> <u>(N) 54 SF added to main level, new roofing, new windows &amp; door</u> <u>(N) brick veneer siding.</u>	
	<b>Applicant</b>	<b>Owner</b>
	Name: <u>Aaron Tollefson</u>	Name: <u>Anthony &amp; Heidi Payan</u>
Phone: <u>(831) 579-3450</u>	Phone: <u>(831) 760-0550</u>	
Email: <u>aarontolley@sbcglobal.net</u>	Email: <u>heidipayan@hotmail.com</u>	
Mailing Address: <u>957 Angelus Way</u> <u>Del Rey Oaks, CA 93940</u>	Mailing Address: <u>648 Pine Avenue</u> <u>Pacific Grove, CA 93940</u>	

PLANNING STAFF USE ONLY:	<b>Permit Request:</b>			
	<input type="checkbox"/> CRD: Counter Determination	<input type="checkbox"/> AUP: Administrative UP	<input type="checkbox"/> IHS: Initial Historic Screening	<input type="checkbox"/> AVAR: Administrative VAR
	<input checked="" type="checkbox"/> AP: Architectural Permit	<input type="checkbox"/> UP-A: UP Amendment	<input type="checkbox"/> HPP: Historic Preservation	<input type="checkbox"/> VAR-A: VAR Amendment
	<input type="checkbox"/> AAP: Administrative AP	<input type="checkbox"/> AUP-A: AUP Amendment	<input type="checkbox"/> A: Appeal	<input type="checkbox"/> AVAR-A: AVAR Amendment
<input type="checkbox"/> ADC: Admin Design Change	<input type="checkbox"/> SU: Second Unit	<input type="checkbox"/> TPD: Tree Permit W/ Dev't	<input type="checkbox"/> MMP: Mitigation Monitoring	
<input type="checkbox"/> SP: Sign Permit	<input type="checkbox"/> LLA: Lot Line Adjustment	<input type="checkbox"/> PUU: Undocumented Unit	<input type="checkbox"/> Stormwater Permit	
<input type="checkbox"/> UP: Use Permit	<input type="checkbox"/> LM: Lot Merger	<input type="checkbox"/> VAR: Variance	<input type="checkbox"/> Other:	
<b>CEQA Determination:</b>		<b>Review Authority:</b>		
<input type="checkbox"/> Exempt	<input type="checkbox"/> Staff	<input type="checkbox"/> HRC	<input type="checkbox"/> Active Planning Permit	
<input type="checkbox"/> Initial Study & Mitigated Negative Declaration	<input type="checkbox"/> ZA	<input type="checkbox"/> PC	<input type="checkbox"/> Active Building Permit	
<input type="checkbox"/> Environmental Impact Report	<input type="checkbox"/> SPRC	<input type="checkbox"/> CC	<input type="checkbox"/> Active Code Violation Permit #: _____	
	<input checked="" type="checkbox"/> ARB	<input type="checkbox"/> _____	<b>Overlay Zones:</b>	
			<input type="checkbox"/> Butterfly Zone	
			<input type="checkbox"/> Coastal Zone	
			<input checked="" type="checkbox"/> Area of Special Biological Significance (ASBS)	
			<input type="checkbox"/> Environmentally Sensitive Habitat Area (ESHA)	
<b>Property Information</b>				
Lot: <u>17 + 19</u>	Block: <u>44</u>	Tract: <u>PG Addition</u>		
ZC: <u>R-4</u>	GP: <u>POI/MOR</u>	Lot Size: <u>3,524 SF</u>		
<input type="checkbox"/> Historic Resources Inventory	<input type="checkbox"/> Archaeologically Sensitive Area			
<b>Staff Use Only:</b>				
RECEIVED				
DEC 21 2016				
\$ <u>3,359.80</u>				
<u>12-21-16</u>				

CERTIFICATION – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge.

Applicant Signature: \_\_\_\_\_

Date: 12-21-16

Owner Signature (Required): \_\_\_\_\_

Date: 12-21-16

**PROJECT DATA SHEET**

Item 8c

**Project Address:** 648 PINE AVENUE      **Submittal Date:** May 25, 2017

**Applicant(s):** AARON S. TOLLEFSON      **Permit Type(s) & No(s):**

	Required/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District	R-4			
Building Site Area	3,600			
Density (multi-family projects only)	N/A			
Building Coverage		1,271	1,302	RESIDENCE & GARAGE
Site Coverage		1,638	1,584	WALKWAY (PAVERS)
Gross Floor Area		2,608	3,526	
Square Footage not counted towards Gross Floor Area *See Checklist Item 36		N/A	N/A	
Exterior Lateral Wall Length to be demolished	n/a	n/a	ft demo/ 151.0 ft total	
Exterior Lateral Wall Length to be built	n/a	n/a	151.0	
Building Height		24'-9"	29'-6"	
Number of stories		2	3	
Front Setback		12'-0"	12'-0"	
EAST Side Setback (specify side)		9'-3" (10%)	9'-3" (10%)	
WEST Side Setback (specify side)		10'-0" (20%)	10'-0" (20%)	HOUSE SITS AT 11'-6"
Rear Setback		8'-0" (2-STORY)	8'-0" (2-STORY)	HOUSE SITS AT 18'-6"
Garage Door Setback		18'-6"	18'-6"	
Covered Parking Spaces		2	2	
Uncovered Parking Spaces		1	1	
Parking Space Size	9' x 20'	21' x 28'	21' x 28'	
Number of Driveways	1	1	1	
Driveway Width(s)		18'-6"	18'-6"	
Back-up Distance		18'-6"	18'-6"	
Eave Projection (Into Setback)	3' maximum	2'-2"	2'-2"	(N) FRONT PORCH COND.
Distances Between Eaves & Property Lines	3' minimum	3'-2"	3'-2"	
Open Porch/Deck Projections		4'-3"	1'-2"	(N) FRONT PORCH COND.
Architectural Feature Projections (Into Setback)		N/A	N/A	
Number & Category of Accessory Buildings		N/A	N/A	
Accessory Building Setbacks		N/A	N/A	
Distance between Buildings		N/A	N/A	
Accessory Building Heights		N/A	N/A	
Fence Heights		6'-0"	6'-0"	

\*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.





## CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T: 831.648.3183 • F: 831.648.3184 • www.ci.pg.ca.us/cdd

### ARCHITECTURAL PERMIT (AP) 16-1068

**FOR A PROPERTY LOCATED AT 648 PINE AVENUE, PACIFIC GROVE TO REBUILD THE MAIN FLOOR INCLUDING AN ADDITION OF 31 SQUARE FEET TO ALSO ALLOW AN UPPER FLOOR ADDITION OF 887 SQUARE FEET INCLUDING A 218 SQUARE FEET BALCONY FOR A TOTAL RESIDENCE OF 3,526 SQUARE FEET.**

#### FACTS

1. The subject site is located at 648 Pine Avenue, Pacific Grove, 93950 APN 006-297-006
2. The subject site has a designation of Multiple Family Residential/Professional office District on the adopted City of Pacific Grove General Plan Land Use Map.
3. The project site is located in the R-4 zoning district.
4. The subject site is 3,524 square feet.
5. The subject site is developed with a single family dwelling
6. The subject site is not eligible for the City's Historic Resources Inventory.
7. This project has been determined to be CEQA Exempt under CEQA Guidelines 15331.

#### FINDINGS

1. The proposed development will meet the development regulations set forth in the R-4 zoning district including setbacks, height requirements, and parking requirement, and;
2. The architecture and general appearance of the completed project is compatible with the neighborhood because the proposed exterior will be compatible with the size, scale and proportions of the existing residence and other residences in the neighborhood, in that the proposal is consistent with Architectural Review Guidelines No.'s 28,32,36;
3. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property, and;
4. The Staff have been guided by and made reference to applicable provisions of the Architectural Review Guidelines in making its determinations on single-family residences.

#### PERMIT

ARCHITECTURAL PERMIT (AP) 16-1068;

To rebuild the main floor including an addition of 31 square feet to also allow an upper floor addition of 887 square feet including a 218 square feet balcony for a total residence of 3,526 square feet.

#### CONDITIONS OF APPROVAL

1. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.
2. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from

approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.

3. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the CDD Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.
4. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.
5. **Conformance to Plans.** Development of the site shall conform to approved plans for “Payan residence” dated December 21, 2016, on file with the Community and Economic Development Department and to the Building Code, with the exception of any subsequently approved changes.
6. **Tree Protection Standards During Construction:** Pursuant to Municipal Code Chapters 12.20 and 12.30, and the *Urban Forestry Standards*, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone of the tree are protected. Prior to issuance of the building permit, the Project Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction.
7. **Street Trees.** One tree must be planted per 30 feet of frontage, with a minimum of two trees.
8. **Stormwater Treatment Measure:** The stormwater treatment measures shall be maintained by the property owner in perpetuity and City of Pacific Grove staff shall be allowed access to inspect all stormwater treatment measures on an annual basis.
9. **Lighting:** All exterior lighting must conform to Architectural Review Guidelines Nos. 10,11,12.
10. **Building Plans:** All conditions of approval for the Planning permit(s) shall be printed on a full size sheet and included with the construction plan set submitted to the Building Department.
11. **Story Poles and Netting:** Following the 10 day appeal period all story poles and netting are required to be removed.

**NOW, THEREFORE, BE IT RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE:**

1. The Board determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.
2. The Board authorizes Approval of AP 16-1068
3. This permit shall become effective upon the expiration of the 10-day appeal period.

- 4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

Passed and adopted at a regular meeting of the Architectural Review Board of the City of Pacific Grove on the 13<sup>th</sup> day of June, 2017 by the following vote:

AYES:

NOES:

ABSENT:

APPROVED:

\_\_\_\_\_  
Rick Steres, Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

\_\_\_\_\_  
Anthony Payan, Owner

\_\_\_\_\_  
Date



## CITY OF PACIFIC GROVE

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### NOTICE OF EXEMPTION FROM CEQA

**Property Address/Location: 648 Pine, Pacific Grove, CA 93950**

**Project Description: AP 161068**

Description: Rebuilding existing main level of residence, 1,271 s.f. (N) 84 s.f. added to main level, new roofing new windows & doors (N) brick veneer siding.

APN: 800008925000

ZC:

Lot Size: 3,600

Applicant Name:	Aaron Tollefson	Phone #:	578.3450
Mailing Address:	957 Angelus Way. Del rey Oaks, Ca 93940		
Email Address:	aarontolley@sbcglobal.net		

**Public Agency Approving Project: City of Pacific Grove, Monterey County, California**

**Exempt Status (Check One):**

- Ministerial (Sec. 21080(b)(1):15268))
- Declared Emergency (Sec. 21080(b)(3): 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c))
- Categorical Exemption  
Type and Section Number: section 15301(e)(1)
- Statutory Exemption  
Type and Section Number:
- Other:

**Exemption Findings:**

The project qualifies for a Class 1 exemption from CEQA requirements, pursuant to Section 15301(e) (1) – Existing Facilities. The proposed addition and alterations do not present any unusual circumstances that would result in a potentially significant environmental impact. The proposed alterations do not constitute a substantial adverse change to the structure, thus conforming to the requirements of the California Environmental Quality Act (CEQA).

**Contact: Laurel OHalloran, Planning Department, City of Pacific Grove**

**Contact Phone: (831) 648-3183**

**Signature:** Laurel O'Halloran

**Date:** 1-17-17

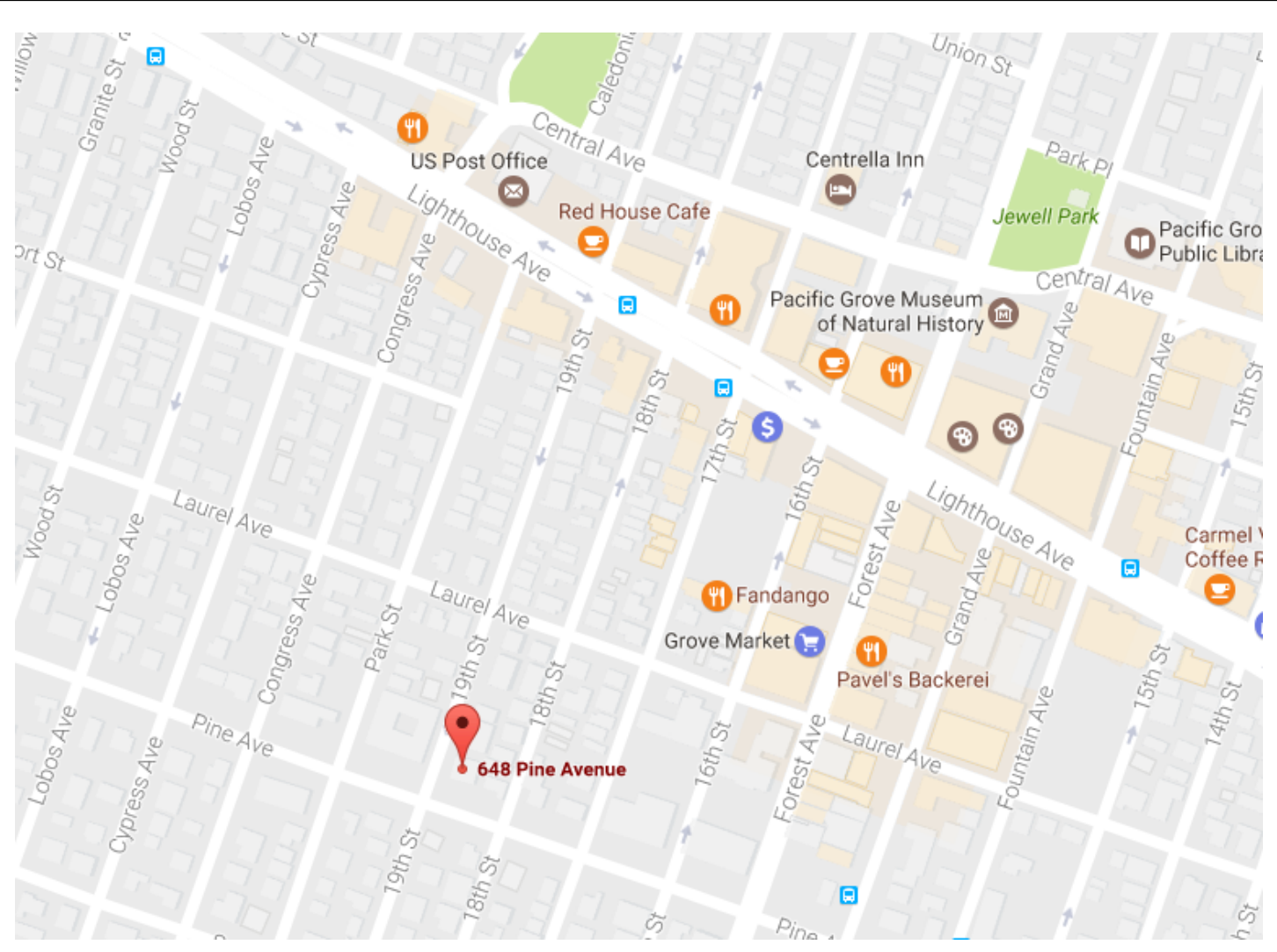


# NEW RE-BUILT & ADDITION TO RESIDENCE FOR MR. AND MRS. PAYAN

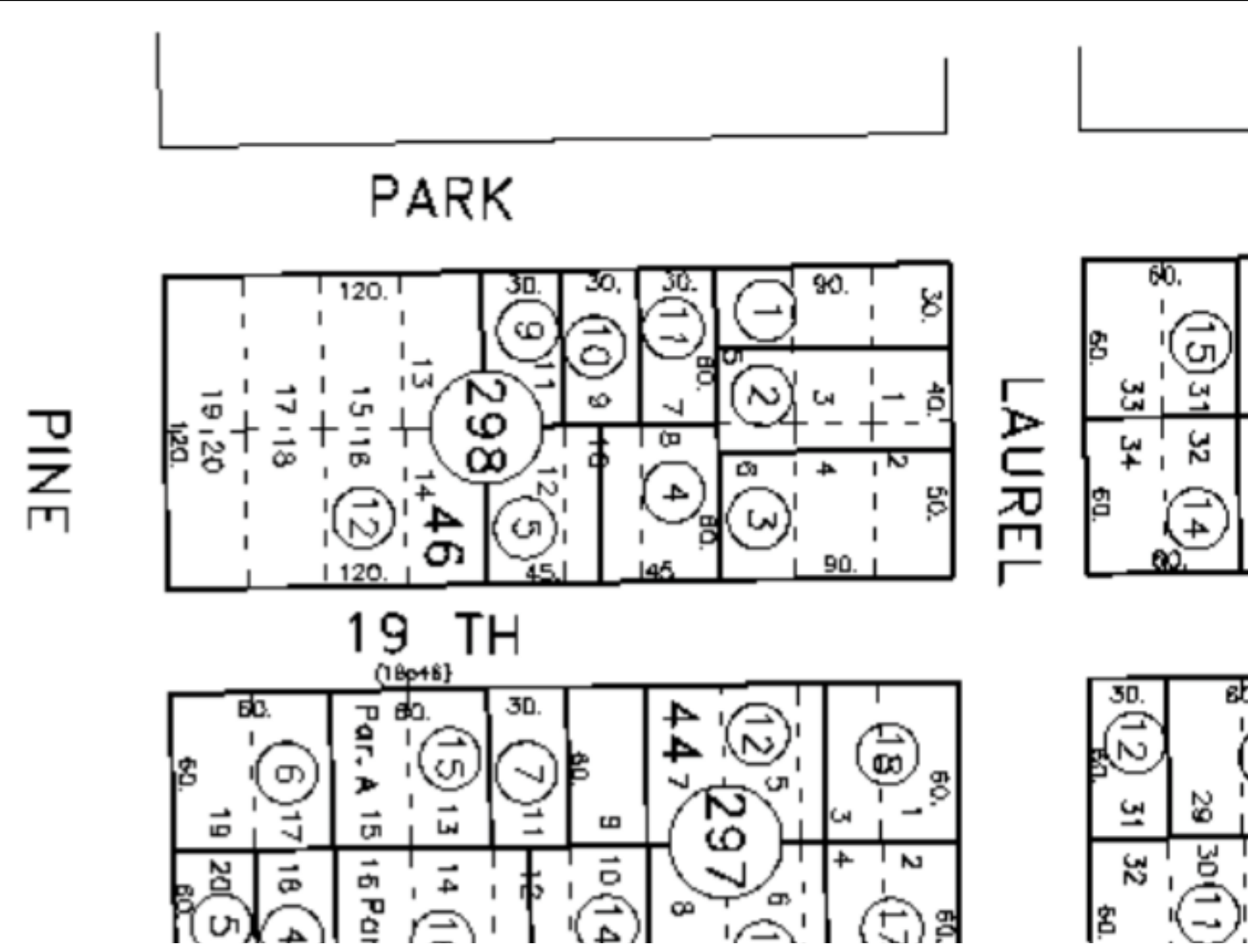
## 648 PINE AVENUE PACIFIC GROVE, CALIFORNIA 93950

**AST**  
DESIGN GROUP  
957 ANGELUS WAY  
DEL REY OAKS, CA 93940  
PHONE: (831) 578-3450

### VICINITY MAP



### ASSESSORS MAP



### SHEET INDEX

- A1.0 COVER SHEET, PROJECT DATA, NOTES, ASSESSORS MAP
- A1.1 ENTIRE SITE PLAN, NOTES
- A1.2 EXISTING FLOOR PLAN, EXISTING EXTERIOR ELEVATIONS
- A1.3 NEW FLOOR PLAN, NOTES
- A1.4 NEW EXTERIOR ELEVATIONS
- A1.5 NEW EXTERIOR ELEVATIONS
- A1.6 ROOF PLAN, FLOOR PLAN NOTES

### PROJECT DATA

<b>PROJECT ADDRESS</b>	648 PINE AVENUE PACIFIC GROVE, CALIFORNIA 93950
<b>PARCEL NUMBER:</b>	006-297-006
<b>PACIFIC GROVE ZONING:</b>	R-4
<b>SITE AREA:</b>	3,600 S.F.
<b>CONSTRUCTION TYPE:</b>	V-B
<b>OCCUPANCY TYPE:</b>	R-3
<b>STORIES:</b>	THREE-STORY
<b>SEWER SYSTEM:</b>	EXISTING SEWER SYSTEM
<b>SQUARE FOOTAGE:</b>	
(E) MAIN LEVEL RE-BUILT:	1,337 S.F.
(N) MAIN LEVEL ADDITION:	31 S.F.
(E) LOWER LEVEL:	1,271 S.F.
(N) UPPER LEVEL ADDITION:	887 S.F.
(E) PORCH RE-BUILT:	218 S.F.
<b>TOTAL:</b>	3,744 S.F.
(N) CANTILEVERED BALCONY:	218 S.F.
<b>SITE COVERAGE:</b>	
(E) LOWER LEVEL FOOTPRINT:	1,271 S.F.
(N) MAIN LEVEL ADDITION:	31 S.F.
(E) PORCH RE-BUILT:	218 S.F.
(N) WALKWAYS:	64 S.F.
<b>TOTAL SITE COVERAGE:</b>	1,584 S.F. (44.22% SITE COVERAGE)
<b>TREES TO BE REMOVED:</b>	NONE TO BE REMOVED
<b>FIRE SPRINKLER REQUIREMENT:</b>	<b>SPRINKLERS REQUIRED</b>
<b>MAXIMUM HEIGHT ALLOWED:</b>	30 FEET

### GENERAL NOTES

TYPICAL CONSTRUCTION REQUIREMENTS OF THE 2016 CRC SHALL APPLY WHERE APPLICABLE AND WHEN NOT SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS.

**SITE FAMILIARIZATION:** CONTRACTOR IS RESPONSIBLE TO ACQUAINT HIMSELF WITH THE SITE PRIOR TO SUBMITTING A PROPOSAL. IF THE CONTRACTOR DISCOVERS ANY CONDITIONS DURING HIS SITE VISIT FAMILIARIZATION WHICH HE FEELS WILL ADVERSELY AFFECT THE WORK, OR WHICH HE FEELS HAVE NOT BEEN ADEQUATELY ADDRESSED BY THE CONSTRUCTION DOCUMENTS, HE IS TO NOTIFY THE DESIGNER IN WRITING.

**CONSTRUCTION DETAILS:** NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE CARRIED OUT BY RESPECTIVE CONTRACTORS IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR WITH MANUFACTURERS SPECIFICATIONS FOR INSTALLATION FOR THEIR MATERIALS OR ITEMS.

**DEMOLITION:** COORDINATE ALL DEMOLITION REQUIREMENTS WITH THE OWNER. VERIFY WITH OWNER WHICH ITEMS, IF ANY, HE WISHES TO RETAIN FOR HIS USAGE. ALL OTHER ITEMS BECOME PROPERTY OF THE CONTRACTOR AND ARE TO BE PROPERLY REMOVED FROM THE PREMISES. UTILIZE DUST CONTROL MEASURES DURING DEMOLITION.

**GLAZING:** ALL DOORS ARE TO HAVE TEMPERED GLAZING. ALL GLAZING IN ANY AREAS SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED GLASS. GLAZING WITHIN 24" OF ANY EDGE OF DOOR OR WITHIN 18" OF THE FLOOR MUST COMPLY.

**MECHANICAL AND PLUMBING:** IT IS THE ESSENCE OF THE CONTRACTOR THAT ALL SYSTEMS SHALL FUNCTION WELL INDIVIDUALLY AND IN COMBINATION WITH OTHER SYSTEMS. THE CONTRACTOR IS RESPONSIBLE FOR THE PLUMBING LAYOUT FOR ALL FIXTURES AND EQUIPMENT.

**GFI PROTECTION:** ALL 125 VOLT, SINGLE PHASE 15 AND 20 AMP RECEPTACLE OUTLETS INSTALLED OUTDOORS, IN GARAGES, IN BATHROOMS AND WITHIN 6 FEET OF KITCHEN SINKS ABOVE COUNTERTOP SURFACE SHALL HAVE GROUND FAULT CIRCUIT PROTECTION. **ALL KITCHEN RECEPTACLES TO BE GFCI.**

**SMOKE DETECTORS:** AN APPROVED SMOKE DETECTOR SHALL BE CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO BEDROOMS. SMOKE DETECTORS ARE REQUIRED TO BE INSTALLED IN EACH SLEEPING AND EACH STORY AND IN THE BASEMENT (WHERE APPLICABLE). REQUIRED SMOKE DETECTORS SHALL RECEIVE PRIMARY POWER FROM BUILDING WIRE. ADDITIONS OR REPAIRS WITH A VALUATION OF \$1,000 OR MORE REQUIRE THAT SMOKE DETECTORS BE INSTALLED. IN DWELLING UNITS WHERE THE CEILING HEIGHT OF A ROOM OPEN TO THE HALLWAY BY 24" OR MORE, SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. DETECTORS SHALL SOUND AN ALARM IN ALL SLEEPING AREAS. (REFER TO 2013 RESIDENTIAL CODE FOR SMOKE DETECTORS).

NAILING TO BE IN COMPLIANCE WITH 2016 CALIFORNIA RESIDENTIAL CODE TABLE.

ALL HOT WATER FAUCETS THAT HAVE MORE THAN 10 FEET OF PIPE BETWEEN THE FAUCET AND THE HOT WATER HEATER SERVING SUCH FAUCET SHALL BE EQUIPPED WITH A HOT WATER RECIRCULATING SYSTEM. (SECTION 6 (Q), ORD. 3522).

NO PERSON MAY TAP INTO ANY FIRE HYDRANT FOR ANY PURPOSE OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID, WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING WATER TO THE HYDRANT AND FROM THE MONTEREY COUNTY HEALTH DEPARTMENT.

ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A SHUT-OFF NOZZLE. WHEN AN AUTOMATIC SHUT-OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT-OFF NOZZLE.

ALL MANUFACTURERS INSTALLATION GUIDES TO BE PROVIDED TO INSPECTOR AT TIME OF FIELD INSPECTION.

THE HOT WATER PLUMBING SYSTEM SHALL BE RECIRCULATING HOT WATER SYSTEM.

**CARBON MONOXIDE DETECTORS:** AN APPROVED CARBON MONOXIDE DETECTOR SHALL BE CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO BEDROOMS. CARBON MONOXIDE DETECTORS ARE REQUIRED TO BE INSTALLED IN EACH STORY AND IN THE BASEMENT (WHERE APPLICABLE). REQUIRED CARBON MONOXIDE DETECTORS SHALL RECEIVE PRIMARY POWER FROM BUILDING WIRE. CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN THE HALLWAY. DETECTORS SHALL SOUND AND ALARM IN AREAS LOCATED NEAR SLEEPING AREAS. (REFER TO 2013 CALIFORNIA RESIDENTIAL CODE FOR CARBON MONOXIDE DETECTORS, SECTION R315).

### FIRE DEPARTMENT NOTES

**FIRE007 - DRIVEWAYS**  
DRIVEWAYS SHALL NOT BE LESS THAN 12 FEET WIDE UNOBSTRUCTED, WITH AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 15 FEET. THE GRADE FOR ALL DRIVEWAYS SHALL NOT EXCEED 15 PERCENT, WHERE THE GRADE EXCEEDS 8 PERCENT. A MINIMUM STRUCTURAL ROADWAY SURFACE OF 0.17 FEET OF ASPHALTIC CONCRETE OR 0.34 FEET OF AGGREGATE BASS SHALL BE REQUIRED. THE DRIVEWAY SURFACE SHALL BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS (22 TONS), AND BE ACCESSIBLE BY CONVENTIONAL DRIVE VEHICLES, INCLUDING SEDANS. FOR DRIVEWAYS WITH TURNS 90 DEGREES AND LESS, THE MINIMUM HORIZONTAL INSIDE RADIUS OF CURVATURE SHALL BE 28 FEET. FOR ALL DRIVEWAY TRUNS, AND ADDITIONAL SURFACE OF 4 FEET SHALL BE ADDED. ALL DRIVEWAYS EXCEEDING 150 FEET IN LENGTH, BUT LESS THAN 800 FEET IN LENGTH, SHALL PROVIDE A TURNOUT NEAR THE MIDPOINT OF THE DRIVEWAY. WHERE THE DRIVEWAY EXCEEDS 800 FEET, TURNOUTS SHALL BE PROVIDED AT NO GREATER THAN 400-FOOT INTERVALS. TURNOUTS SHALL BE A MINIMUM OF 12 FEET WIDE AND 30 FEET LONG WITH A MINIMUM OF 25-FOOT TAPRE AT BOTH ENDS. TURNAROUNDS SHALL BE REQUIRED ON DRIVEWAYS IN EXCESS OF 150 FEET OF SURFACE LENGTH AND SHALL BE LOCATED WITHIN 50 FEET OF THE PRIMARY BUILDING. THE MINIMUM TURNING RADIUS FOR A TURNAROUND SHALL BE 40 FEET FROM THE CENTER LINE OF THE DRIVEWAY. IF A HAMMERHEAD / T IS USED, THE TOP OF THE "T" SHALL BE A MINIMUM OF 60 FEET IN LENGTH.

**FIRE011 - ADDRESSES FOR BUILDINGS**  
ALL BUILDINGS SHALL BE ISSUED AN ADDRESS IN ACCORDANCE WITH MONTEREY COUNTY ORDINANCE NO. 1241. EACH OCCUPANCY, EXCEPT ACCESSORY BUILDINGS, SHALL HAVE ITS OWN PERMANENTLY POSTED ADDRESS. WHEN MULTIPLE OCCUPANCIES EXIST WITHIN A SINGLE BUILDING, EACH INDIVIDUAL OCCUPANCY SHALL BE SEPARATELY IDENTIFIED BY ITS OWN ADDRESS. LETTERS, NUMBERS AND SYMBOLS FOR ADDRESSES SHALL BE MINIMUM OF 4 INCH HEIGHT, 1/2 INCH STROKE, CONTRASTING WITH THE BACKGROUND COLOR OF THE SIGN, AND SHALL BE ARABIC. THE SIGN AND NUMBERS SHALL BE PLACED AT EACH DRIVEWAY ENTRANCE AND AT EACH DRIVEWAY SPLIT. ADDRESS SIGNS SHALL BE VISIBLE AND LEGIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD. IN ALL CASES, THE ADDRESS SHALL BE POSTED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER. ADDRESS SIGNS ALONG ONE-WAY ROADS SHALL BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL. WHERE MULTIPLE ADDRESSES ARE REQUIRED AT A SINGLE DRIVEWAY, THEY SHALL BE MOUNTED ON A SINGLE SIGN. WHERE A ROADWAY PROVIDES ACCESS SOLELY TO SINGLE COMMERCIAL OCCUPANCY, THE ADDRESS SIGN SHALL BE PLACED AT THE NEAREST ROAD INTERSECTION PROVIDING ACCESS TO THAT SITE. PERMANENT ADDRESS NUMBERS SHALL BE POSTED PRIOR TO REQUESTING FINAL CLEARANCE.

**FIRE019 - DEFENSIBLE SPACE REQUIREMENTS (STANDARD)**  
MANAGE COMBUSTIBLE VEGETATION FROM WITHIN A MINIMUM OF 100 FEET OF STRUCTURES, OR TO THE PROPERTY LINE, WHICHEVER IS CLOSER. TRIM TREE LIMBS TO A MINIMUM HEIGHT OF 6 FEET FROM THE GROUND. REMOVE LIMBS WITHIN 10 FEET OF CHIMNEYS. ADDITIONAL AND/OR ALTERNATE FIRE PROTECTION OR FIREBREAKS APPROVED BY THE FIRE AUTHORITY MAY BE REQUIRED TO PROVIDE REASONABLE FIRE SAFETY. ENVIRONMENTALLY SENSITIVE AREAS MAY REQUIRE ALTERNATIVE FIRE PROTECTION, TO BE DETERMINED BY REVIEWING AUTHORITY AND THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.

**FIRE021 - FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM (HAZARDOUS CONDITIONS)**  
THE BUILDING(S) AND ATTACHED GARAGE(S) SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEM. INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARD. A MINIMUM OF FOUR (4) SETS OF PLANS FOR FIRE SPRINKLER SYSTEMS MUST BE SUBMITTED BY A CALIFORNIA LICENSED C-16 CONTRACTOR AND APPROVED PRIOR TO INSTALLATION. THIS REQUIREMENT IS NOT INTENDED TO DELAY ISSUANCE OF A BUILDING PERMIT. A ROUGH SPRINKLER INSPECTION MUST BE SCHEDULED BY THE INSTALLING CONTRACTOR COMPLETED PRIOR TO REQUESTING A FRAMING INSPECTION.

**FIRE029 - ROOF CONSTRUCTION**  
ALL NEW STRUCTURES AND ALL EXISTING STRUCTURES RECEIVING NEW ROOFING OVER 25 PERCENT OR MORE OF THE EXISTING ROOF SURFACE WITHIN A ONE-YEAR PERIOD, SHALL REQUIRE A MINIMUM OF ICBO CLASS "A" ROOF CONSTRUCTION.

### CONDITIONS OF APPROVAL (AP) 00-000

1. **PERMIT EXPIRATION:** THIS PERMIT SHALL EXPIRE AND BE NULL AND VOID IF A BUILDING PERMIT HAS NOT BEEN APPLIED FOR WITHIN ONE (1) YEAR FROM AND AFTER THE DATE OF APPROVAL. APPLICATION FOR EXTENSION OF THIS APPROVAL MUST BE MADE PRIOR TO THE EXPIRATION DATE.
2. **CONSTRUCTION COMPLIANCE:** ALL CONSTRUCTION MUST OCCUR IN STRICT COMPLIANCE WITH THE PROPOSAL AS SET FORTH IN THE APPLICATION, SUBJECT TO ANY SPECIAL CONDITIONS OF APPROVAL HEREIN. ANY DEVIATION FROM APPROVALS MUST BE REVIEWED AND APPROVED BY STAFF, AND MAY REQUIRE ARCHITECTURAL REVIEW BOARD APPROVAL.
3. **TERMS AND CONDITIONS:** THESE TERMS AND CONDITIONS SHALL RUN WITH THE LAND, AND IT IS THE INTENTION OF THE CEED DIRECTOR AND THE PERMITTEE TO BIND ALL FUTURE OWNERS AND POSSESSORS OF THE SUBJECT PROPERTY TO THE TERMS AND CONDITIONS, UNLESS AMENDED. AMENDMENTS TO THIS PERMIT MAY BE ACHIEVED ONLY IF AN APPLICATION IS MADE AND APPROVED, PURSUANT TO THE ZONING CODE.
4. **PUBLIC WORKS, FIRE AND BUILDING:** REVIEW AND APPROVAL BY THE PUBLIC WORKS, FIRE AND BUILDING DEPARTMENTS ARE REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT. WORK TAKING PLACE IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE AN ENCROACHMENT PERMIT PRIOR TO ISSUANCE OF THE BUILDING PERMIT.
5. **TREE PROTECTION STANDARDS DURING CONSTRUCTION:** PURSUANT TO MUNICIPAL COD CHAPTERS 12.20 AND 12.30, AND THE URBAN FORESTRY STANDARDS, ALL TREES THAT ARE OTHERWISE PROTECTED AND WILL BE IMPACTED AS A RESULT OF DEVELOPMENT, BOTH PROPOSED FOR PRUNING OR REMOVAL AND WHERE THE DEVELOPMENT WILL IMPACT THE CRITICAL ROOT ZONE OF THE TREE ARE PROTECTED. PRIOR TO ISSUANCE OF THE BUILDING PERMIT, THE PROJECT ARBORIST SHALL REVIEW GRADING, DRAINAGE, UTILITY, BUILDING AND LANDSCAPE PLANS TO DETERMINE IMPACTS TO INDIVIDUAL TREES, TO DETERMINE REQUIRED MINIMUM TREE PROTECTION STANDARDS DURING CONSTRUCTION.
6. **STREETS TREES:** ONE TREE MUST BE PLANTED PER 30 FEET OF FRONTAGE, WITH A MINIMUM OF TWO TREES.
7. **WATER EFFICIENCY REQUIREMENTS:** ALL MONTEREY PENINSULA WATER MANAGEMENT DISTRICT WATER EFFICIENCY REQUIREMENTS, INCLUDING THE INSTALLATION OF HIGH EFFICIENCY TOILETS, SHALL BE IMPLEMENTED.
8. **STORMWATER TREATMENT MEASURE:** THE STORMWATER TREATMENT MEASURES SHALL BE MAINTAINED BY THE PROPERTY OWNER IN PERPETUITY AND CITY OF PACIFIC GROVE STAFF SHALL BE ALLOWED ACCESS TO INSPECT ALL STORMWATER TREATMENT MEASURES ON AN ANNUAL BASIS.
9. **LIGHTING:** ALL EXTERIOR LIGHTING MUST CONFORM TO ARCHITECTURAL REVIEW GUIDELINES NOS. 10,11,12.
10. **ARCHEOLOGY:** IF ARCHAEOLOGICAL RESOURCES OR HUMAN REMAINS ARE DISCOVERED DURING CONSTRUCTION, WORK SHALL BE HALTED WITHIN 50 METERS OF THE FIND UNTIL IT CAN BE EVALUATED BY A QUALIFIED PROFESSIONAL ARCHAEOLOGIST; IF THE FIND IS DETERMINED TO BE SIGNIFICANT, APPROPRIATE MITIGATION MEASURES SHALL BE FORMULATED, WITH THE CONCURRENCE OF THE CITY OF PACIFIC GROVE STAFF, AND IMPLEMENTED.
11. **BUILDING PLANS:** ALL CONDITIONS OF APPROVAL FOR THE PLANNING PERMIT(S) SHALL BE PRINTED ON A FULL SIZE SHEET AND INCLUDED WITH THE CONSTRUCTION PLAN SET SUBMITTED TO THE BUILDING DEPARTMENT.

### SCOPE OF WORK

1. REBUILD EXISTING MAIN LEVEL OF RESIDENCE (1,337 S.F.)
2. NEW 31 S.F. ADDITION TO LIVING ROOM ON MAIN LEVEL OF RESIDENCE
3. NEW 887 S.F. UPSTAIRS ADDITION TO EXISTING RESIDENCE
4. NEW ROOFING (50 YR. COMPOSITION)
5. NEW WINDOWS AND DOORS
6. NEW HORIZ. WOOD SIDING (2 1/2" EXPOSURE)

### APPLICABLE CODES

**THIS PROJECT SHALL COMPLY WITH ALL CURRENT CODES LISTED AS FOLLOWS:**

- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA RESIDENTIAL CODE
- 2016 CALIFORNIA FIRE CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- 2016 TITLE 24 ENERGY COMPLIANCE
- 2016 CALIFORNIA GREEN ENERGY CODE

NEW ADDITION & REMODEL FOR:  
**PAYAN RESIDENCE**

648 PINE STREET  
PACIFIC GROVE, CALIFORNIA  
A.P.N.: 006-297-006

**DRAWINGS:**  
PROJECT DATA  
SHEET INDEX  
SCOPE OF WORK  
CODES  
ASSESSORS MAP  
VICINITY MAP  
NOTES

**DRAWN BY:** AST  
**DRAWING DATE:** May 25, 2017  
**REVISION DATES:**

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**SHEET**  
**A1.0**



**PROJECT DATA SHEET**

Project Address: 648 PINE AVENUE      Submittal Date: May 25, 2017  
 Applicant(s): AARON S. TOLLEFSON      Permit Type(s) & No(s):

	Required/Permitted	Existing Condition	Proposed Condition	Notes
Zone District	R-4			
Building Site Area	3,600			
Density (multi-family projects only)	N/A			
Building Coverage		1,271	1,302	RESIDENCE & GARAGE
Site Coverage		1,638	1,584	WALKWAY (PAVERS)
Gross Floor Area		2,608	3,526	
Square Footage not counted towards Gross Floor Area *See Checklist Item 36		N/A	N/A	
Exterior Lateral Wall Length to be demolished	n/a	n/a	ft demo/ 151.0 ft total	
Exterior Lateral Wall Length to be built	n/a	n/a	151.0	
Building Height		24'-9"	29'-6"	
Number of stories		2	3	
Front Setback		12'-0"	12'-0"	
EAST Side Setback (specify side)		9'-3" (10%)	9'-3" (10%)	
WEST Side Setback (specify side)		10'-0" (20%)	10'-0" (20%)	HOUSE SITS AT 11'-6"
Rear Setback		8'-0" (2-STORY)	8'-0" (2-STORY)	HOUSE SITS AT 18'-6"
Garage Door Setback		18'-6"	18'-6"	
Covered Parking Spaces		2	2	
Uncovered Parking Spaces		1	1	
Parking Space Size	9' x 20'	21' x 28'	21' x 28'	
Number of Driveways	1	1	1	
Driveway Width(s)		18'-6"	18'-6"	
Back-up Distance		18'-6"	18'-6"	
Eave Projection (Into Setback)	3' maximum	2'-2"	2'-2"	(N) FRONT PORCH COND.
Distances Between Eaves & Property Lines	3' minimum	3'-2"	3'-2"	
Open Porch/Deck Projections		4'-3"	1'-2"	(N) FRONT PORCH COND.
Architectural Feature Projections (Into Setback)		N/A	N/A	
Number & Category of Accessory Buildings		N/A	N/A	
Accessory Building Setbacks		N/A	N/A	
Distance between Buildings		N/A	N/A	
Accessory Building Heights		N/A	N/A	
Fence Heights		6'-0"	6'-0"	

\*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.

**SITE COVERAGE CALCULATIONS:**

**NEW SITE COVERAGE CALCULATION:**

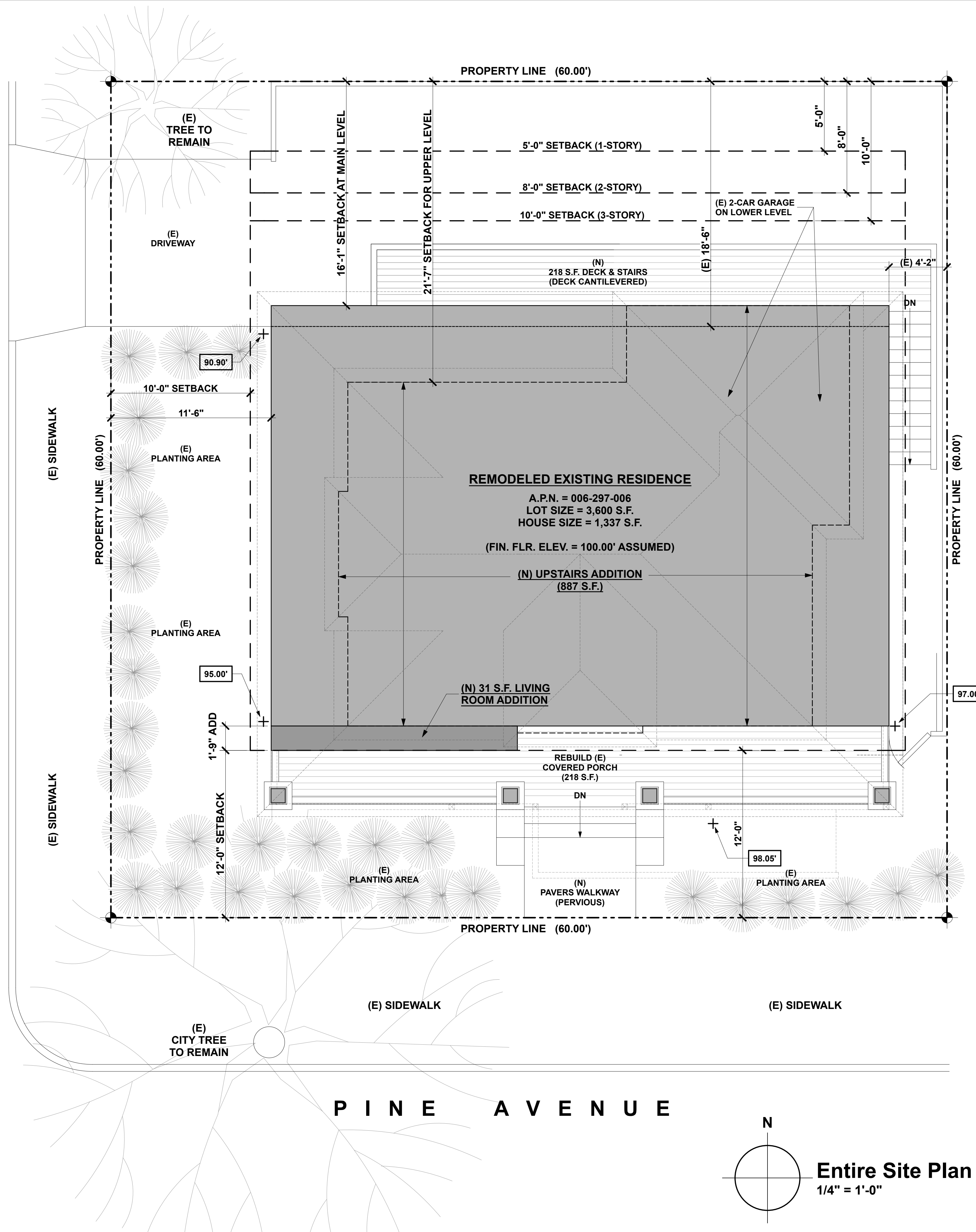
- (E) RESIDENCE COVERAGE = 1,271 S.F.
- (N) RESIDENCE ADDITION = 31 S.F.
- (N) RE-BUILT FRONT PATIO = 218 S.F.
- (E) DRIVEWAY (PERVIOUS SURFACE) = < 923 S.F. > (NOT COUNTED - PERVIOUS)
- (N) WALKWAYS (PERVIOUS SURFACE) = < 206 S.F. > (NOT COUNTED - PERVIOUS)

**TOTAL (N) IMPERVIOUS SITE COVERAGE = 1,520 S.F. (42.22% SITE COVERAGE)**

**EXISTING SITE COVERAGE CALCULATION:**

- (E) RESIDENCE COVERAGE = 1,271 S.F.
- (E) COVERED FRONT PORCH = 266 S.F.
- (E) HANDICAP RAMP = 101 S.F.
- (E) DRIVEWAY (PERVIOUS SURFACE) = < 923 S.F. > (NOT COUNTED - PERVIOUS)

**TOTAL (E) IMPERVIOUS SITE COVERAGE = 1,638 S.F. (45.50% SITE COVERAGE)**



**AST**  
 DESIGN GROUP  
 957 ANGELUS WAY  
 DEL REY OAKS, CA 93940  
 PHONE: (831) 578-3450

AARON S. TOLLEFSON, DESIGNER

NEW ADDITION & REMODEL FOR:

**PAYAN RESIDENCE**

648 PINE STREET  
 PACIFIC GROVE, CALIFORNIA  
 A.P.N.: 006-297-006

DRAWINGS:  
 SITE PLAN  
 NOTES

DRAWN BY: AST  
 DRAWING DATE: May 25, 2017  
 REVISION DATES:

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SHEET

**A1.1**

Entire Site Plan  
 1/4" = 1'-0"





Existing West & North Elevation



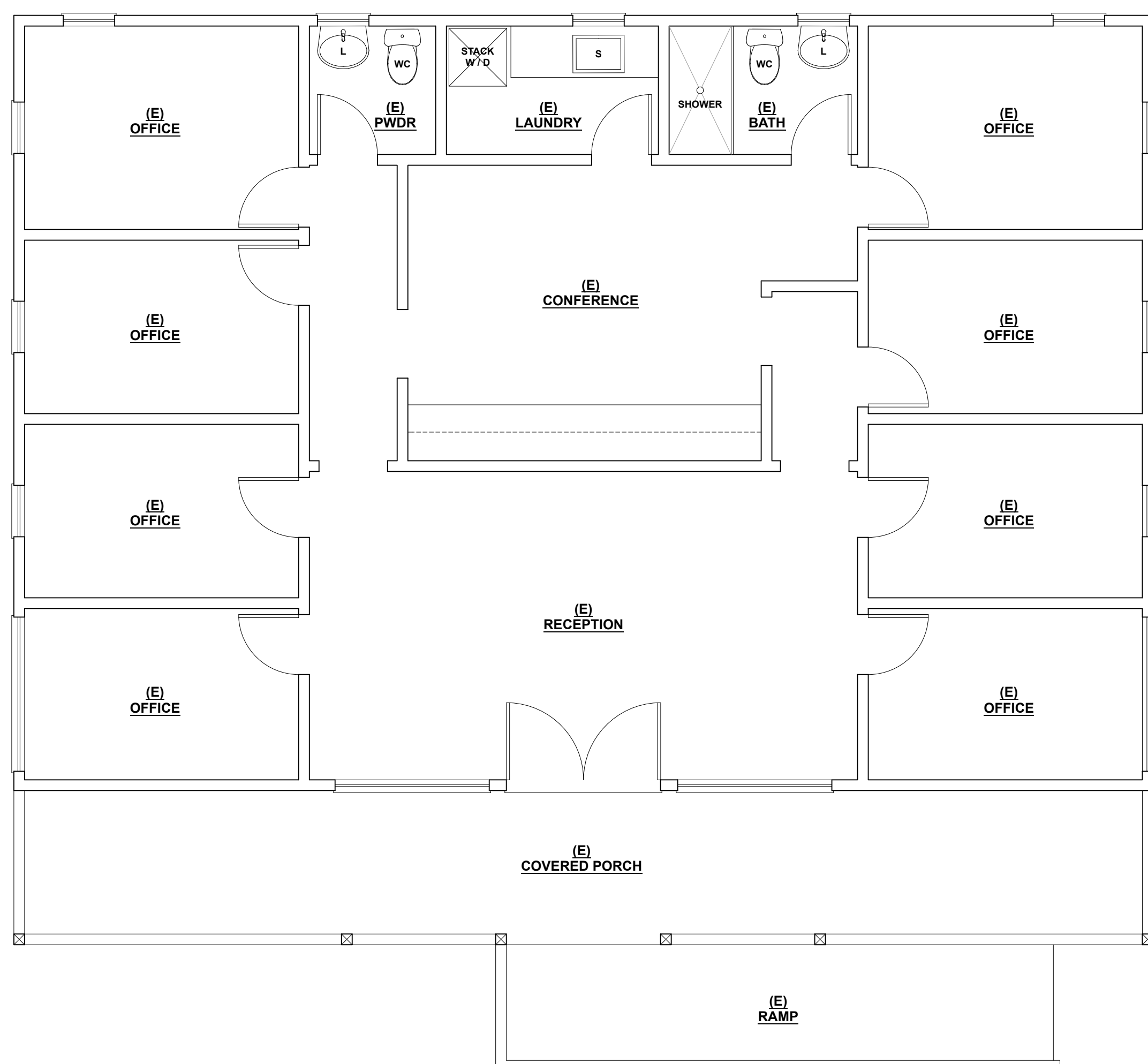
Existing South & West Elevation

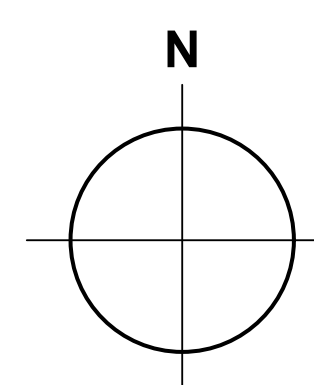


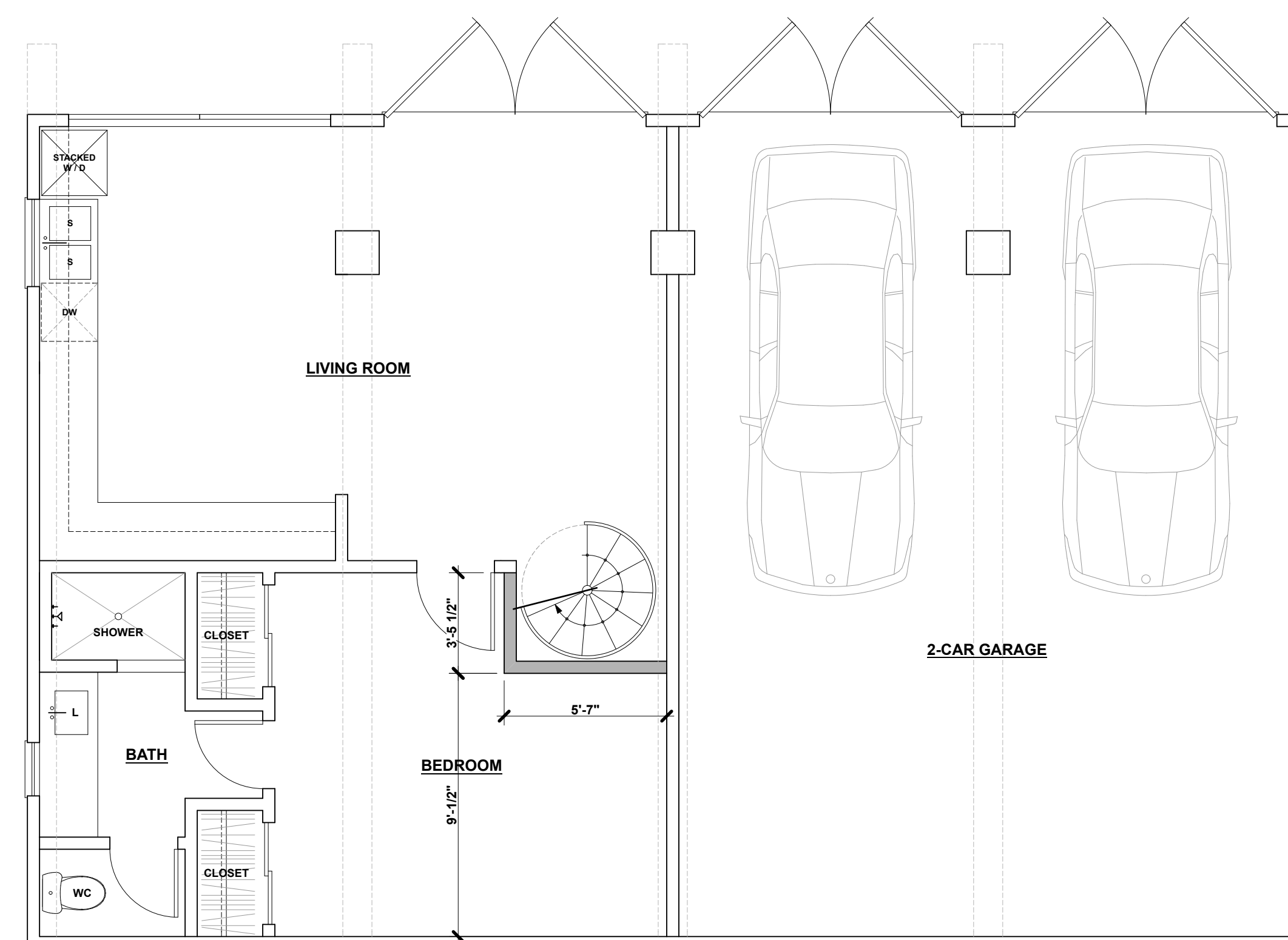
Existing South & East Elevation

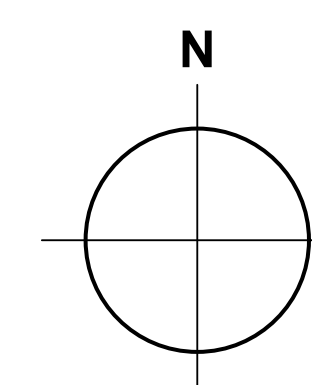
**AST**  
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AARON S. TOLLEFSON, DESIGNER



 Existing Main Level Floor Plan  
1/4" = 1'-0"



 Existing Lower Level Floor Plan  
1/4" = 1'-0"

NEW ADDITION & REMODEL  
FOR:

**PAYAN  
RESIDENCE**

648 PINE STREET  
PACIFIC GROVE, CALIFORNIA  
A.P.N.: 006-297-006

DRAWINGS:  
(E) LOWER LEVEL FLOOR PLAN

DRAWN BY: AST  
DRAWING DATE: May 25, 2017  
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SHEET

**A1.2**



**AST**  
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NEW ADDITION & REMODEL  
FOR:

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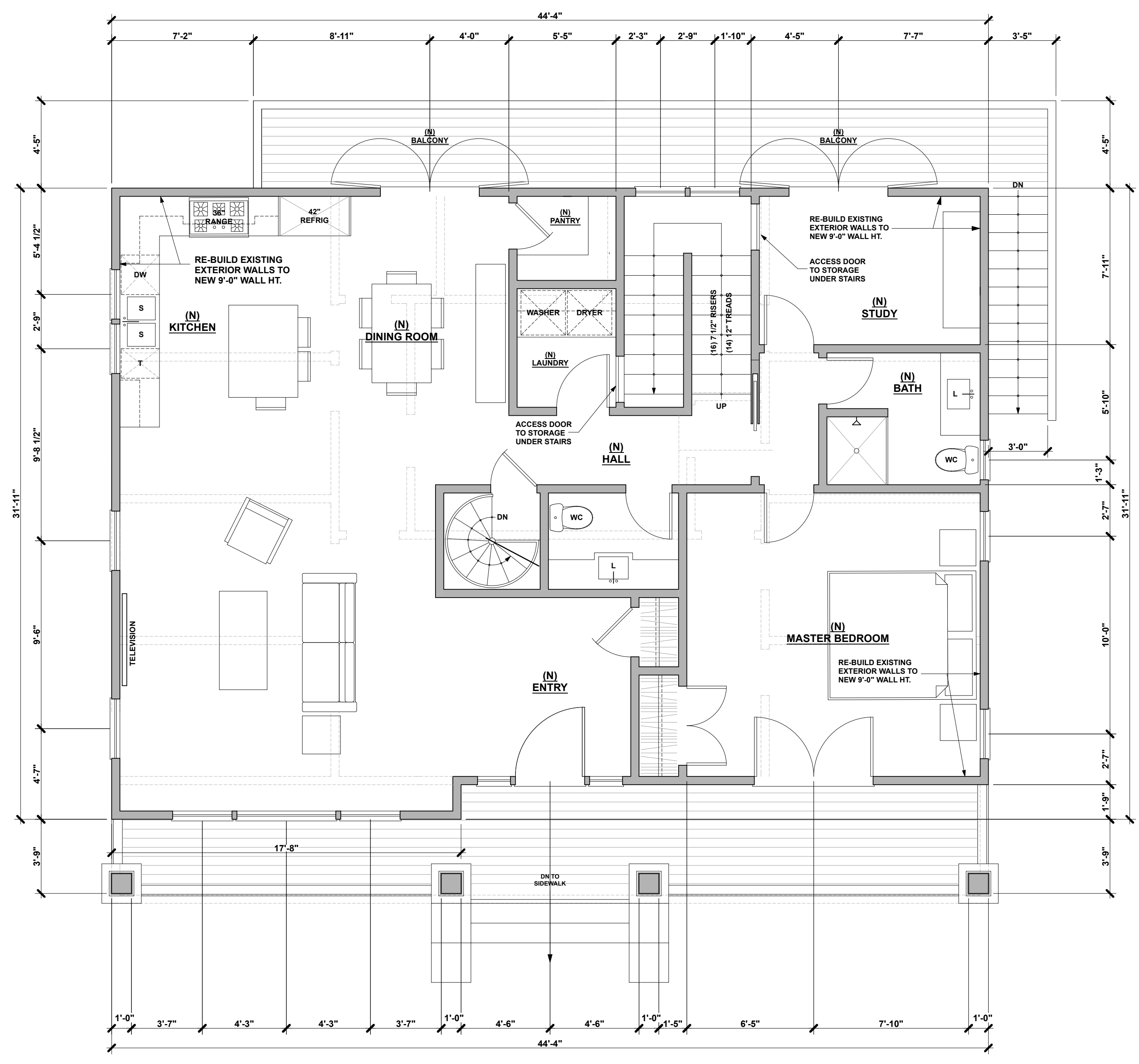
648 PINE STREET  
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DRAWINGS:  
NEW MAIN LEVEL FLOOR PLAN  
NEW UPPER LEVEL FLOOR PLAN

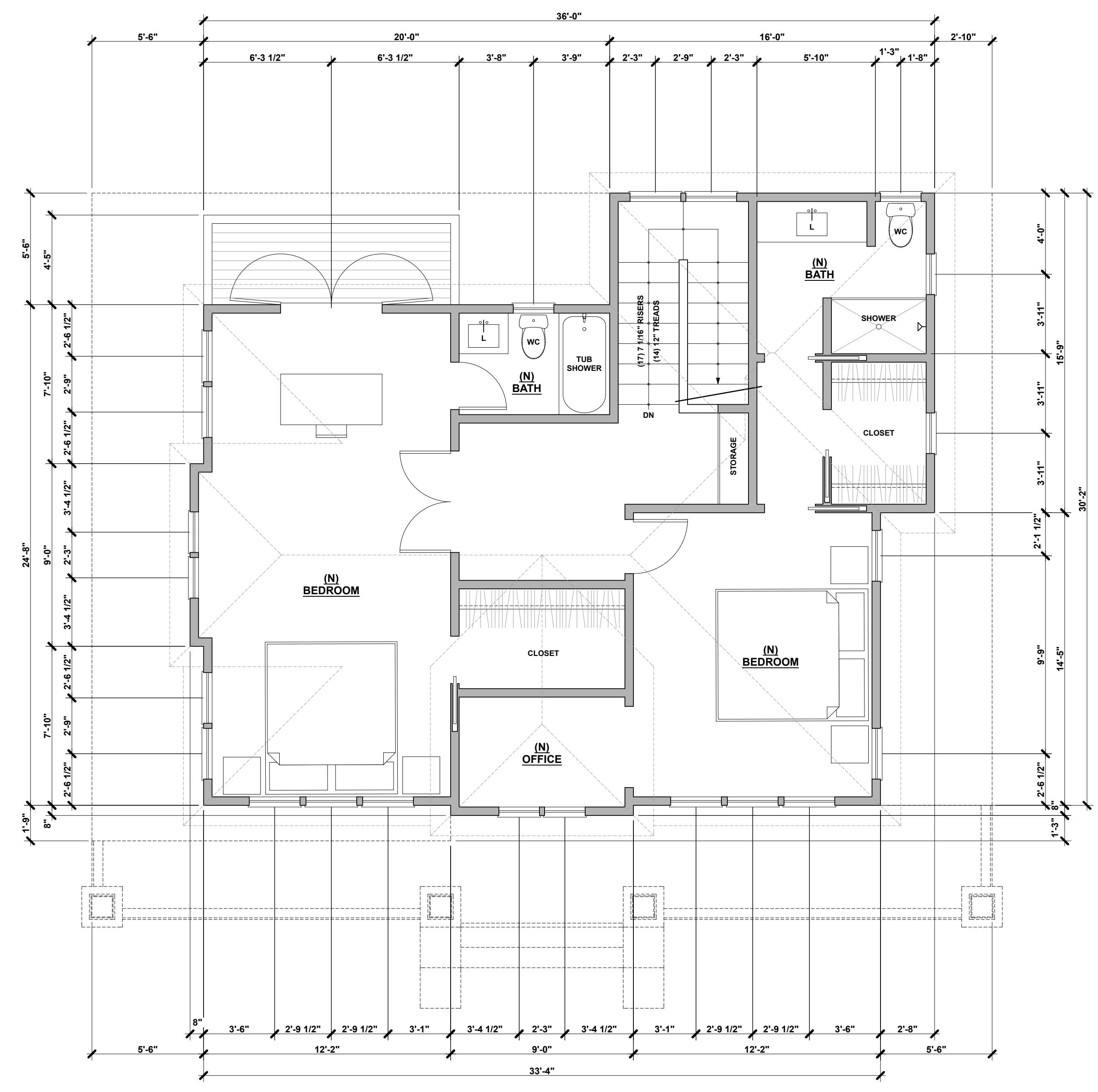
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SHEET  
**A1.3**



**New Main Level Floor Plan**  
1/4" = 1'-0"



**New Upper Level Floor Plan**  
1/4" = 1'-0"

**AST**  
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AARON S. TOLLEFSON, DESIGNER

NEW ADDITION & REMODEL  
 FOR:

**PAYAN  
 RESIDENCE**

648 PINE STREET  
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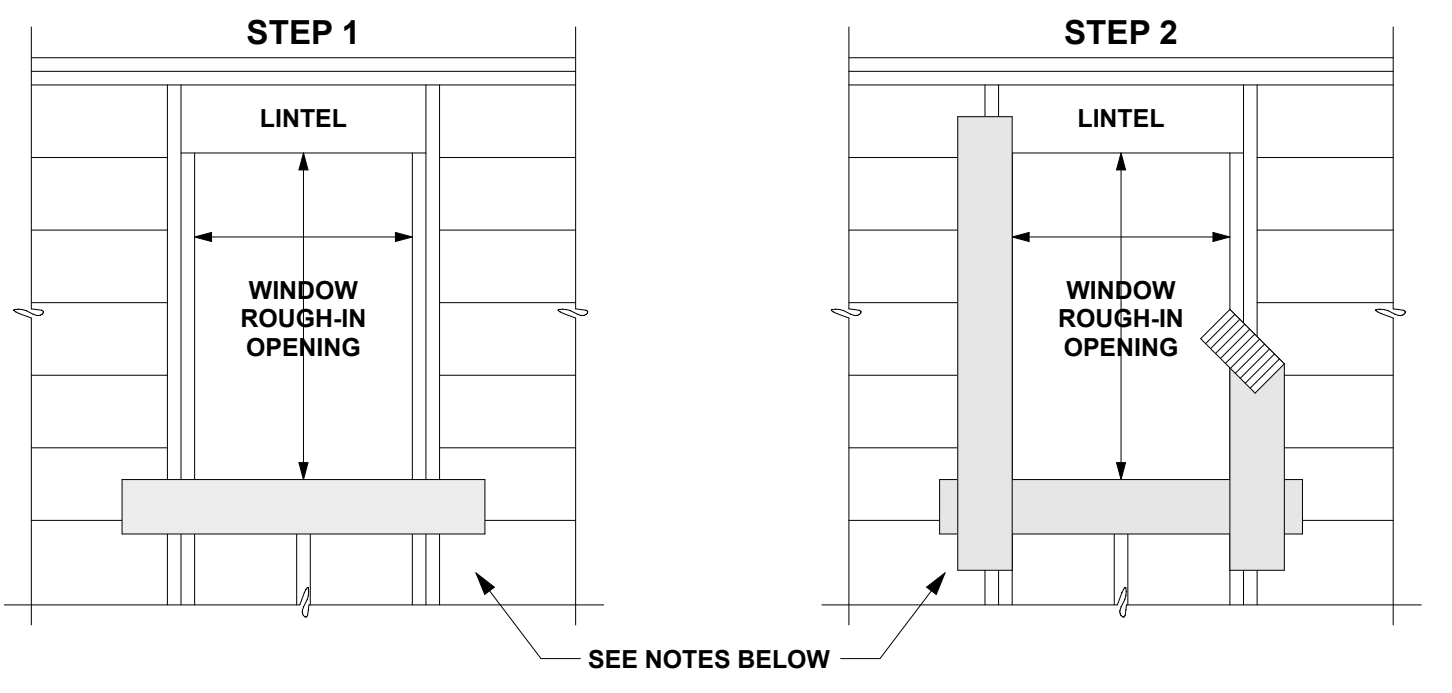
DRAWINGS:  
 EXTERIOR ELEVATIONS

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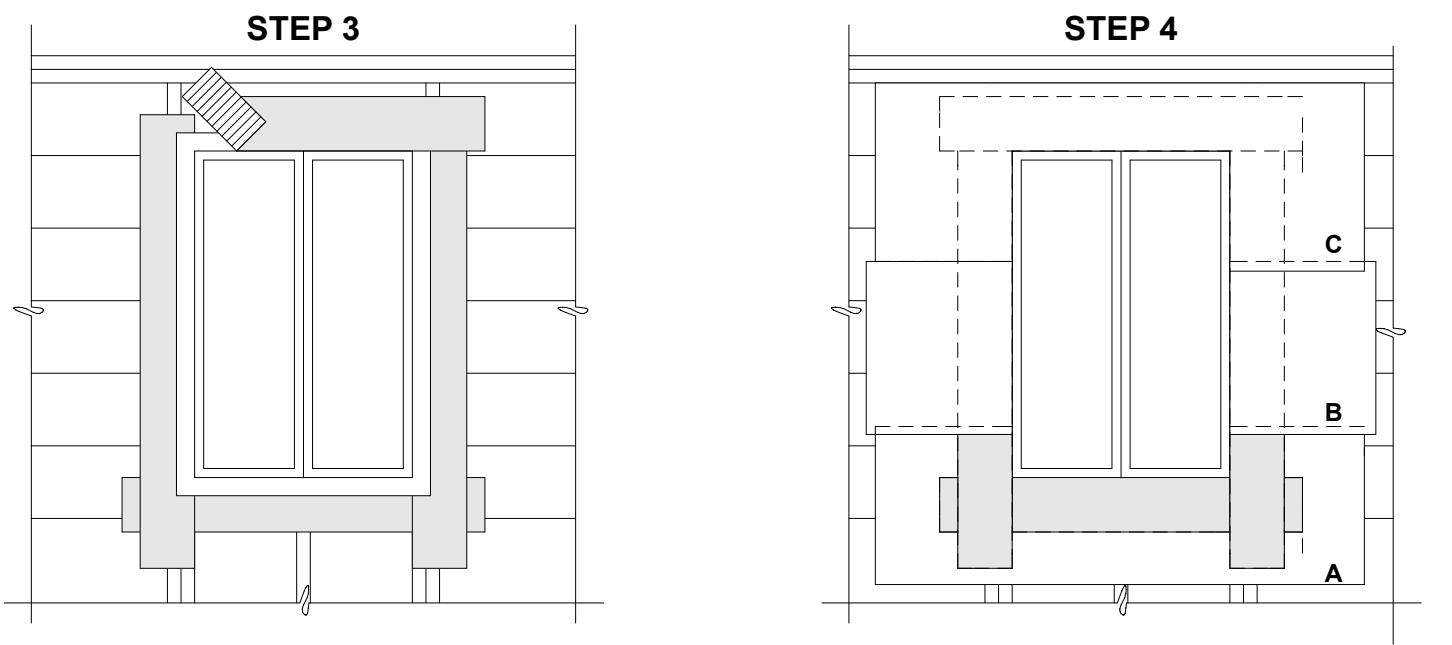
SHEET

**A1.4**



**STEP 1**  
 ATTACH SILL STRIP WITH TOP EDGE LEVEL WITH ROUGH SILL. EXTEND BEYOND EDGE OF ROUGH OPENING AT LEAST 8". SECURE ALL MOISTOP OR SIMILAR APPROVED FLASHING MATERIAL WITH GALVANIZED NAILS OR POWER-DRIVEN STAPLES.

**STEP 2**  
 ATTACH JAMB STRIPS WITH SIDE EDGE EVEN WITH ROUGH-JAMB FRAMING, START STRIP 1" BELOW LOWER EDGE OF SILL STRIP AND EXTEND 4" ABOVE LOWER EDGE OF LINTEL.



**STEP 3**  
 INSTALL WINDOW INTO ROUGH OPENING WITH SILL AND JAMB FLANGES OVER PREVIOUSLY INSTALLED FLASHING. ATTACH HEAD FLASHING OVER THE WINDOW FLANGE.

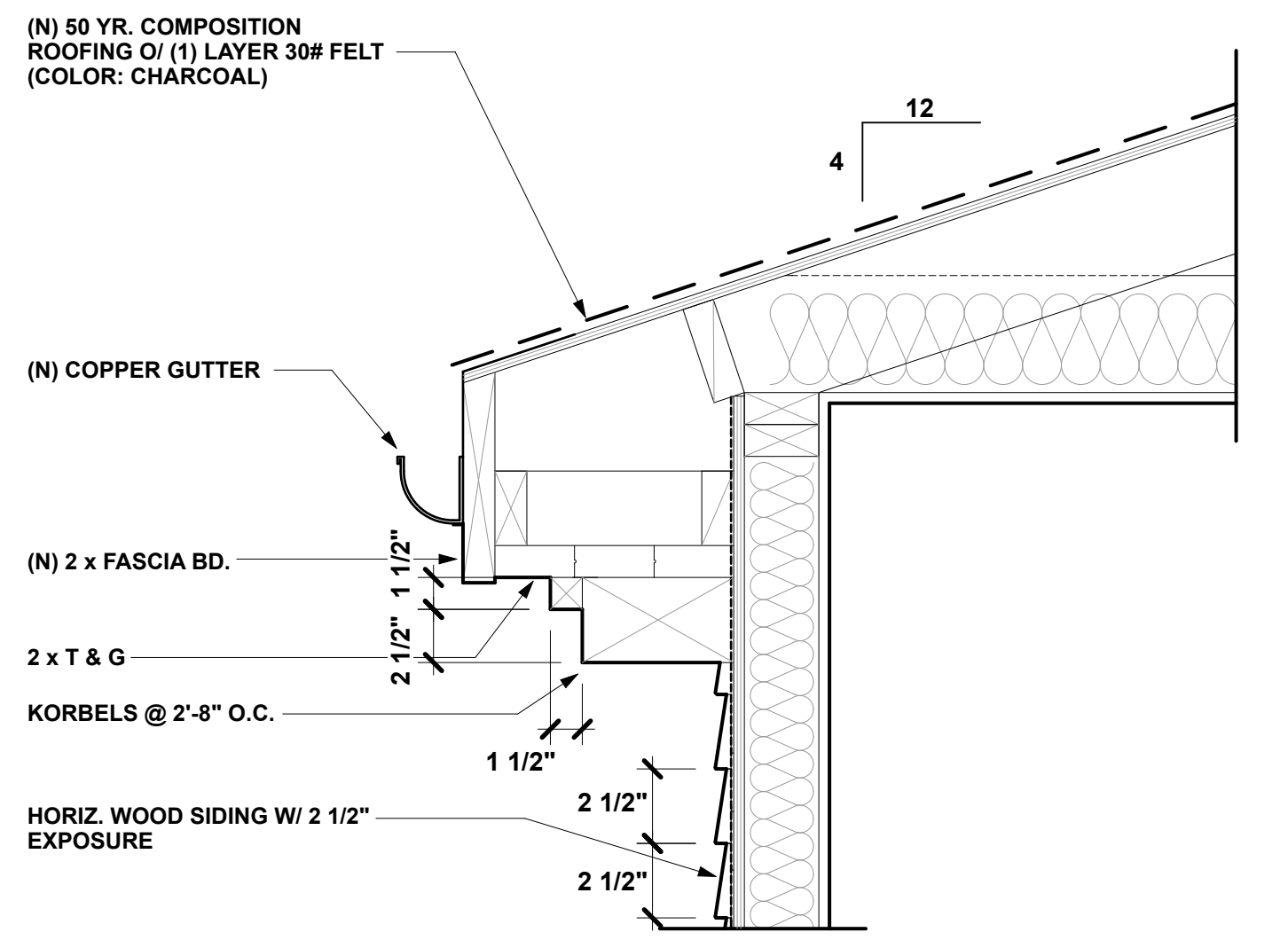
**STEP 4**  
 COMMENCING AT THE BOTTOM (SOLE PLATE) OF THE WALL, LAY BUILDING PAPER UNDER SILL STRIP.

NOTE:  
 CUT ANY EXCESS BUILDING PAPER THAT MAY EXTEND ABOVE THE SILL FLANGE LINE ON EACH SIDE OF THE OPENING.

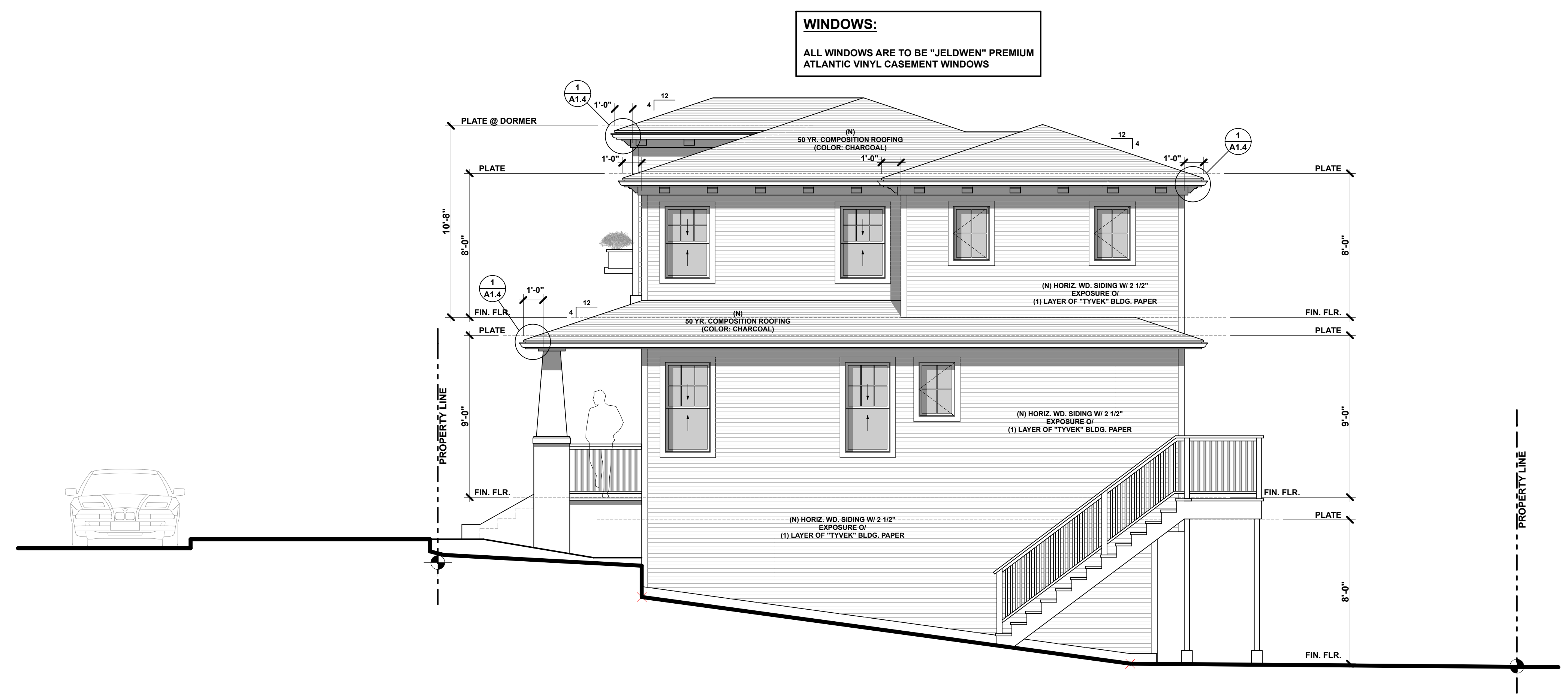
DO NOT SPLICE BUILDING PAPER HORIZONTALLY SO THAT THE PAPER WILL LAP OVER THE JAMB STRIPS. INSTALL EXCESSIVE LINES OF BUILDING PAPER (B, C, D, ETC.) OVER JAMB AND HEAD FLANGES, LAPPING EACH COURSE.

**NOTES:**

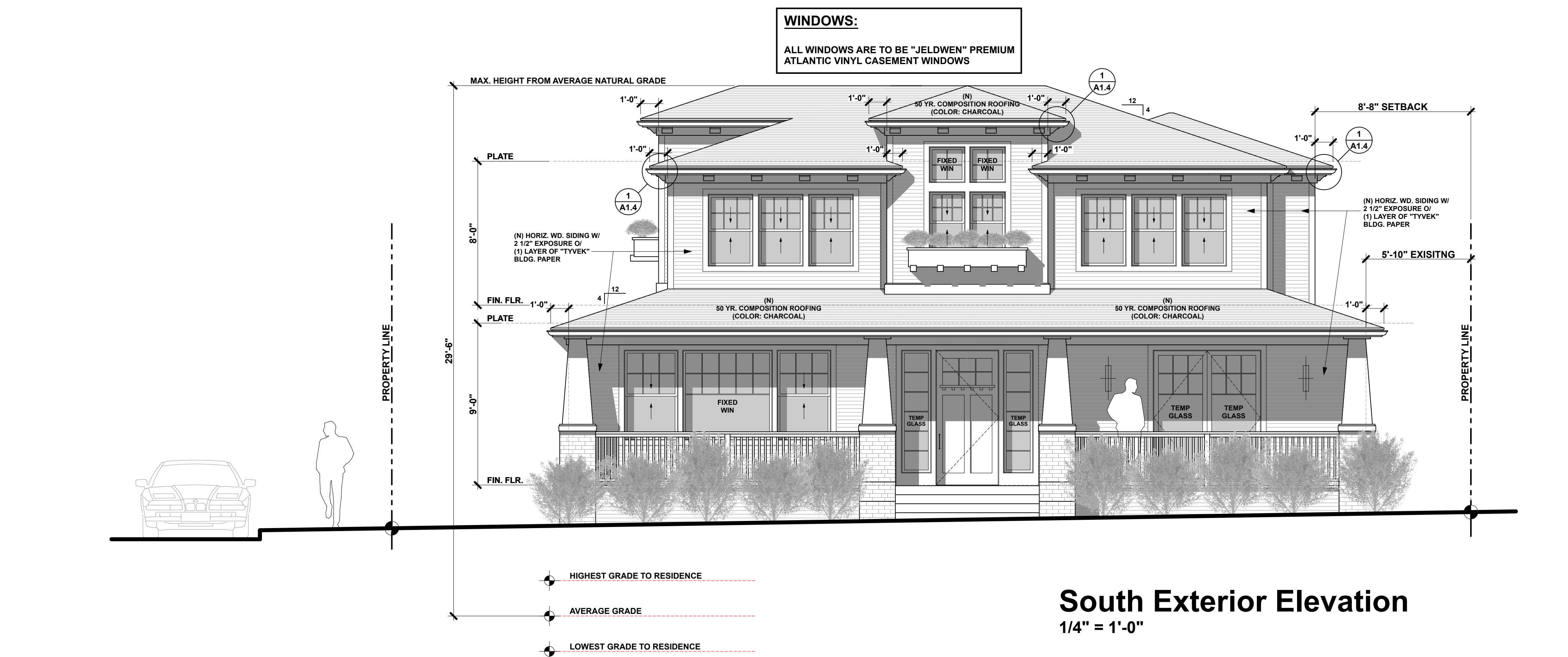
1. LINE-WIRE WHEN USED AS BACKING TO SUPPORT BUILDING PAPER BENEATH WIRE LATH (NETTING) FOR PORTLAND CEMENT (STUCCO), SHALL BE INSTALLED, AS FOLLOWS:  
 WIRE GAUGE, SPACING AND ATTACHMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF MANUFACTURER SPECIFICATIONS.  
 PERIPHERAL FLASHING AT ALL EDGES OF WALL OPENINGS MUST COVER THE WIRE BACKING.  
 NO ATTACHMENT DEVICES NOR THE WIRE BACKING SHALL COVER OR PENETRATE THE FLASHING MATERIAL.
2. MOISTOP FLASHING MINIMUM 9" WIDE.
3. PROVIDE SEALANT AS RECOMMENDED BY WINDOW MANUFACTURER PRIOR TO INSTALLATION OF WINDOW OR SLIDING DOOR.



**Typ. Eave Detail** 1



**East Exterior Elevation**  
 1/4" = 1'-0"



**South Exterior Elevation**  
 1/4" = 1'-0"



**AST**  
 DESIGN GROUP  
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 DEL REY OAKS, CA 93940  
 PHONE: (831) 578-3450

AARON S. TOLLEFSON, DESIGNER

NEW ADDITION & REMODEL  
 FOR:

**PAYAN  
 RESIDENCE**

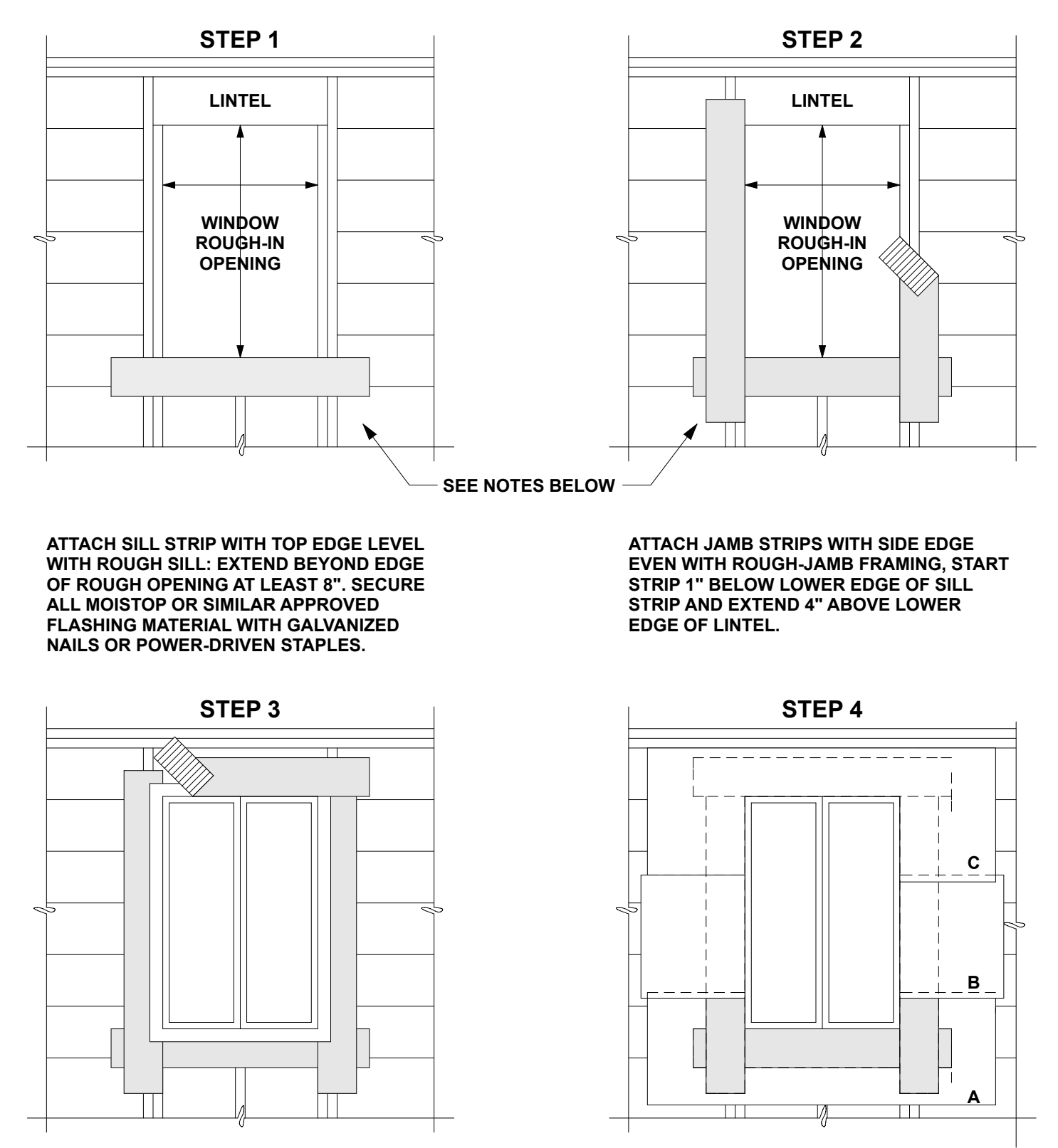
648 PINE STREET  
 PACIFIC GROVE, CALIFORNIA  
 A.P.N.: 006-297-006

DRAWINGS:  
 EXTERIOR ELEVATIONS

DRAWN BY: AST  
 DRAWING DATE: May 25, 2017  
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SHEET  
**A1.5**



ATTACH SILL STRIP WITH TOP EDGE LEVEL WITH ROUGH SILL. EXTEND BEYOND EDGE OF ROUGH OPENING AT LEAST 8". SECURE ALL MOISTOP OR SIMILAR APPROVED FLASHING MATERIAL WITH GALVANIZED NAILS OR POWER-DRIVEN STAPLES.

ATTACH JAMB STRIPS WITH SIDE EDGE EVEN WITH ROUGH-JAMB FRAMING, START STRIP 1" BELOW LOWER EDGE OF SILL STRIP AND EXTEND 4" ABOVE LOWER EDGE OF LINTEL.

INSTALL WINDOW INTO ROUGH OPENING WITH SILL AND JAMB FLANGES OVER PREVIOUSLY INSTALLED FLASHING. ATTACH HEAD FLASHING OVER THE WINDOW FLANGE.

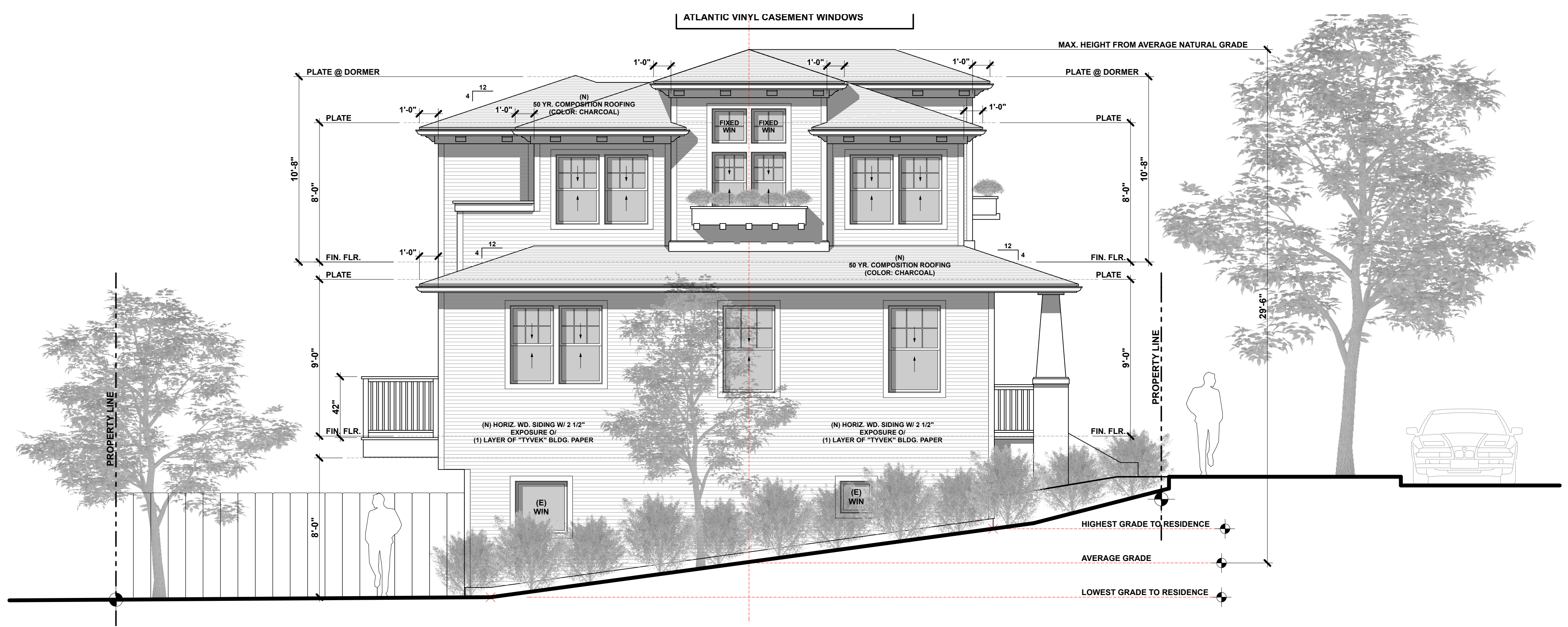
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NOTE: CUT ANY EXCESS BUILDING PAPER THAT MAY EXTEND ABOVE THE SILL FLANGE LINE ON EACH SIDE OF THE OPENING.

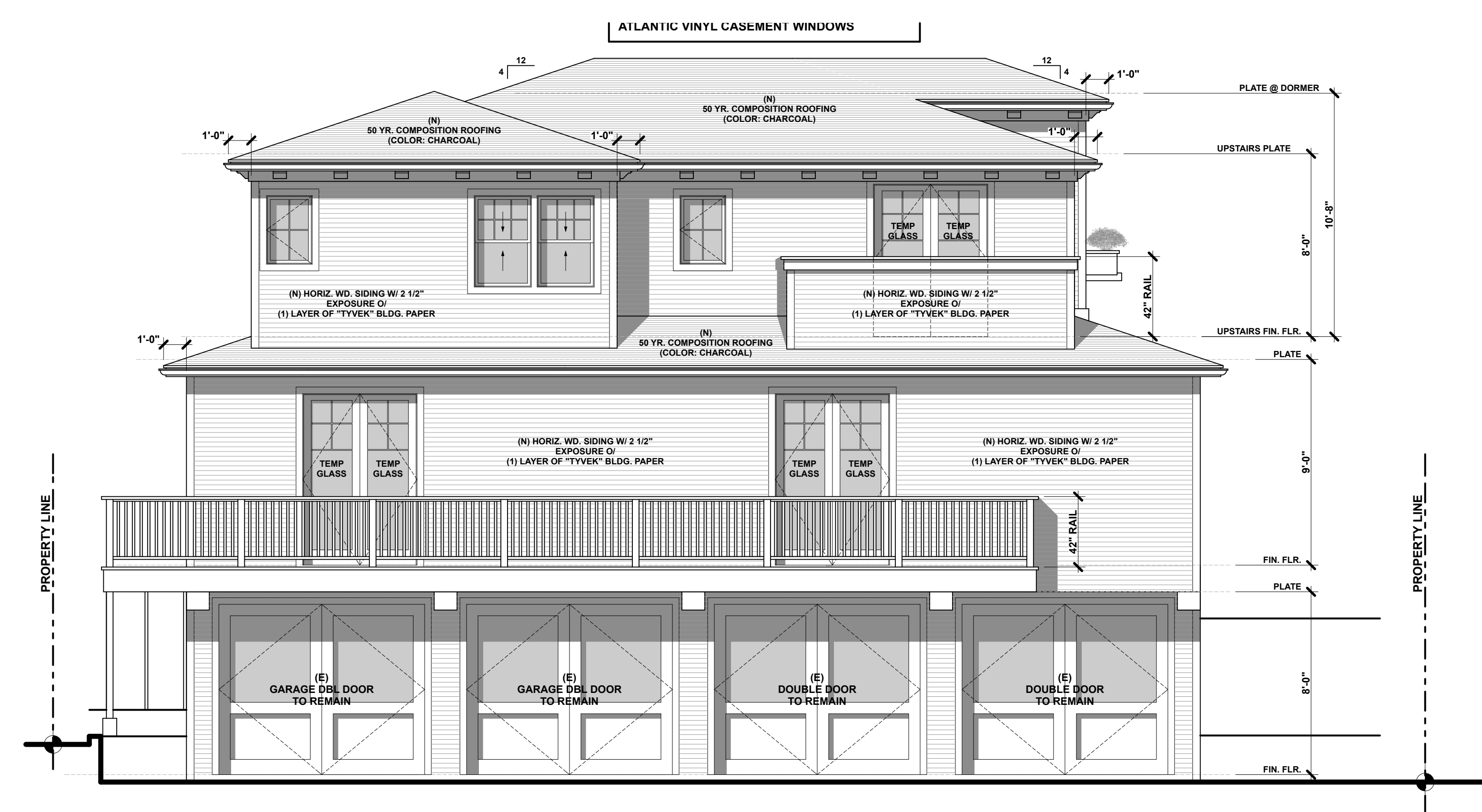
DO NOT SPLICE BUILDING PAPER HORIZONTALLY SO THAT THE PAPER WILL LAP OVER THE JAMB STRIPS. INSTALL EXCESSIVE LINES OF BUILDING PAPER (B, C, D, ETC.) OVER JAMB AND HEAD FLANGES, LAPPING EACH COURSE.

**NOTES:**

1. LINE-WIRE WHEN USED AS BACKING TO SUPPORT BUILDING PAPER BENEATH WIRE LATH (NETTING) FOR PORTLAND CEMENT (STUCCO), SHALL BE INSTALLED, AS FOLLOWS:  
 WIRE GAUGE, SPACING AND ATTACHMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF MANUFACTURER SPECIFICATIONS.  
 PERIPHERAL FLASHING AT ALL EDGES OF WALL OPENINGS MUST COVER THE WIRE BACKING.  
 NO ATTACHMENT DEVICES NOR THE WIRE BACKING SHALL COVER OR PENETRATE THE FLASHING MATERIAL.
2. MOISTOP FLASHING MINIMUM 9" WIDE.
3. PROVIDE SEALANT AS RECOMMENDED BY WINDOW MANUFACTURER PRIOR TO INSTALLATION OF WINDOW OR SLIDING DOOR.



**West Exterior Elevation**  
 1/4" = 1'-0"



**North Exterior Elevation**  
 1/4" = 1'-0"



**AST**  
 DESIGN GROUP  
 957 ANGELUS WAY  
 DEL REY OAKS, CA 93940  
 PHONE: (831) 578-3450

AARON S. TOLLEFSON, DESIGNER

NEW ADDITION & REMODEL  
 FOR:

**PAYAN  
 RESIDENCE**

648 PINE STREET  
 PACIFIC GROVE, CALIFORNIA  
 A.P.N.: 006-297-006

DRAWINGS:  
 (N) ROOF PLAN

DRAWN BY: AST  
 DRAWING DATE: May 25, 2017  
 REVISION DATES:

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SHEET  
**A1.6**

**NOTES:**

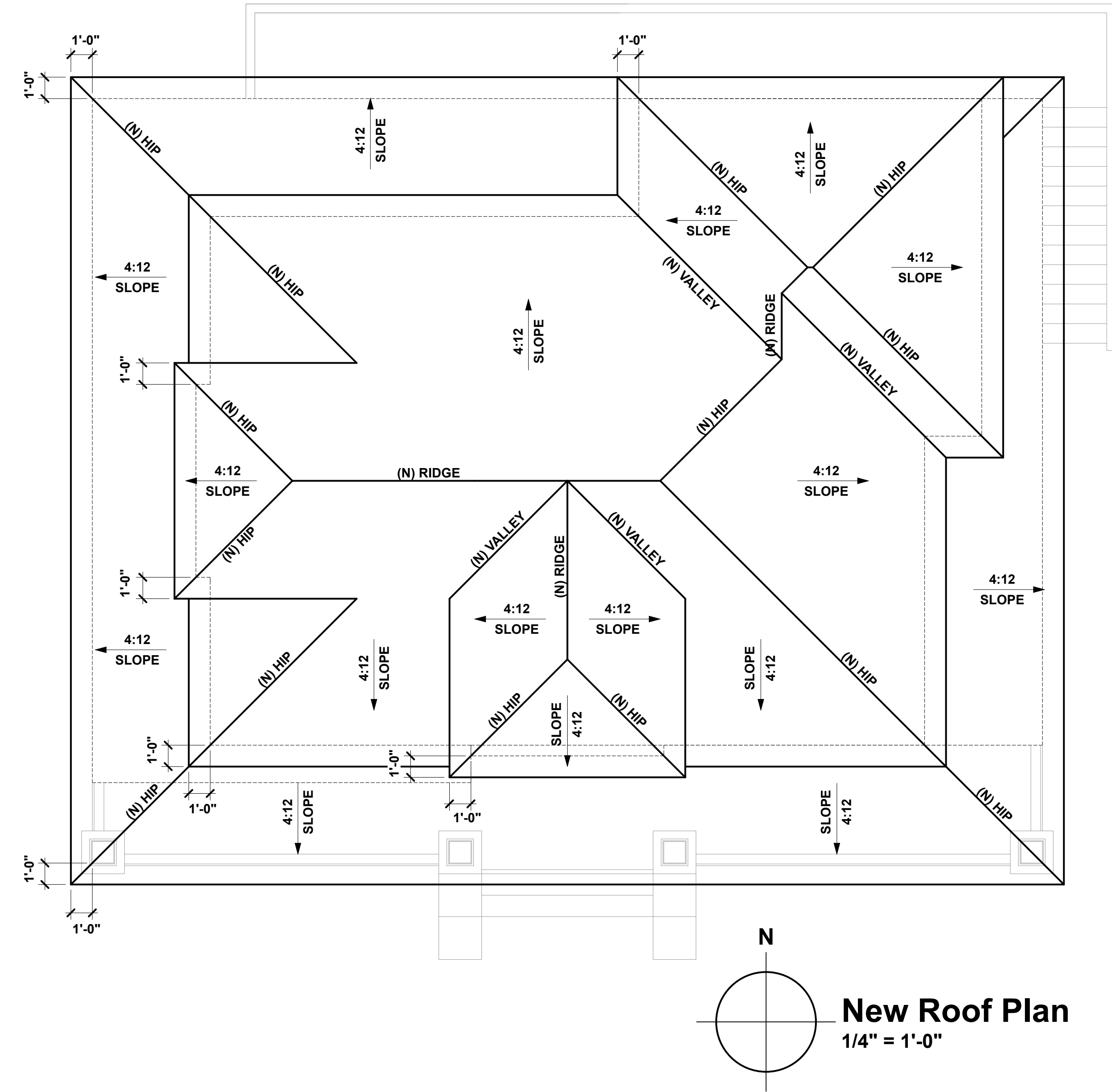
1. PROVIDE SEISMIC STRAPPING FOR WATER HEATER PER CBC REQUIREMENTS, INSTALL ON PAD 18" MINIMUM ABOVE FLOOR IN CONDITION APPLIES.
2. SHOWER AREA WALLS SHALL BE FINISHED WITH A SMOOTH, HARD, NON-ABSORBANT SURFACE TO A HEIGHT OF 70" MIN. ABOVE THE DRAIN INLET (SECTION 8071.3, CBC).
3. BATHROOM FANS TO PROVIDE A MINIMUM 5 AIR CHANGES PER HOUR.
4. GARAGE TO HOSE WALLS AND CEILING TO BE PROTECTED WITH 1-HOUR FIRE RATED MATERIALS ON THE GARAGE SIDE. USE 5/8" GYPSUM BOARD TYPE "X".
5. ATTIC ACCESS ARE TO BE 24" X 30" MINIMUM.
6. GLAZING IN AREAS SUBJECT TO HUMAN IMPACT, LESS THAN 24" TO DOORS AND LESS THAN 18" FLOOR TO WINDOW, SHALL BE SAFETY GLAZING MATERIAL SUCH AS WIRED GLASS, LAMINATED GLASS, TEMPERED GLASS OR SAFETY PLASTIC. GLAZING USED IN DOORS AND PANELS OF SHOWERS AND TUB ENCLOSURES SHALL BE FULLY TEMPERED GLASS.
7. DRYER TO BE VENTED TO EXTERIOR WITH 4"Ø DUCT LINE. (14'-0" MAXIMUM RUN)
8. PROVIDE A NON-REMOVABLE BACKFLOW PREVENTION DEVICE AT HOSE-BIBS.
9. WINDOWS IN SLEEPING ROOMS SHALL PROVIDE:  
 MINIMUM NET CLEAR OPENABLE DIMENSION OF 5.7 S.F. IN AREA  
 MINIMUM NET CLEAR OPENABLE DIMENSION OF 24 INCHES IN HEIGHT  
 MINIMUM NET CLEAR OPENABLE DIMENSION OF 20 INCHES IN WIDTH  
 OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR
10. THE REQUIRED NATURAL LIGHT FOR EVERY SPACE INTENDED FOR HUMAN OCCUPANCY WITH GLAZED OPENINGS WITH AN AREA OF NOT LESS THAN 8% OF ROOM FLOOR AREA. (CBC 1205.2)
11. THE REQUIRED NATURAL VENTILATION IN OCCUPIED SPACES THROUGH OPENABLE EXTERIOR WALL OPENINGS WITH AN AREA NOT LESS THAN 4% OF THE AREA BEING VENTILATED. (CBC 1204.1)
12. WATER CLOSETS SHALL NOT USE MORE THAN 1.28 GALLONS PER FLUSH PER STATE HEALTH AND SAFETY CODE (SECTION 17921.3(b)).
13. USE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING TYPE AT THE SHOWERS AND TUB-SHOWER COMBINATION.
14. SMOKE DETECTORS ARE TO SOUND AND ALARM AUDIBLE IN ALL BEDROOMS OF THE RESIDENCE.
15. SMOKE DETECTORS SHALL RECEIVE THEIR POWER FROM THE HOUSE PRIMARY WIRE AND SHALL ALSO HAVE BATTERY BACK-UP.
16. INSTALL UFER GROUNDING FOR THE 200 AMP ELECTRICAL SERVICE PER NEC 250-50(c).
17. KITCHEN COUNTER OUTLETS SHALL BE SPACED SO THAT NO POINT ALONG THE WALL LINE OF THE COUNTER IS MORE THAN 2'-0" FROM AN ELECTRICAL OUTLET.
18. THE MASTER BATHROOM OUTLETS SHALL HAVE APPROVED GROUND FAULT CIRCUIT PROTECTION.
19. OUTDOOR OUTLETS (WP/GFCI) SHALL BE INSTALLED AT THE FRONT AND REAR OF THE RESIDENCE.
20. AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLETS, OTHER EQUIPMENT (LIGHTING, EXHAUST FANS), WITHIN THE SAME BATHROOM, MAY BE SUPPLIED BY THE SAME BRANCH CIRCUIT WHERE THE BRANCH CIRCUIT SUPPLIES A SINGLE BATHROOM ONLY.
21. AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY LAUNDRY RECEPTACLE OUTLETS.
22. CLOTHES DRYER AND ELECTRIC RANGES SHALL HAVE A 4-WIRE GROUNDED ELECTRICAL OUTLET.
23. PROVIDE WEEP SCREEDS AROUND PERIMETER OF RESIDENCE WHERE CEMENT PLASTER FINISH OCCURS. PROVIDE 4" CLEAR ABOVE EARTH AND 2" CLEAR ABOVE PAVED AREAS.

**ROOM FINISH MATERIAL NOTES:**

1. ALL WALLS AND CEILINGS OF ALL ROOMS ARE TO BE THIN-COAT PLASTER SMOOTH FINISH UNLESS OTHERWISE NOTED AND ARE IN COMPLIANCE WITH THE DEAD LOADS SPECIFIED BY THE STRUCTURAL ENGINEER.
2. ALL FLOORS ARE TO BE 3/4 HARDWOOD, TILE OR CARPET UNLESS OTHERWISE NOTED AND ARE IN COMPLIANCE WITH THE DEAD LOADS SPECIFIED BY THE STRUCTURAL ENGINEER.

**GREEN BUILDING REQUIREMENTS:**

1. ALL WATER CLOSETS SHALL HAVE A MAXIMUM FLUSH VOLUME OF 1.28 GALLONS, AND SHALL MEET OR EXCEED THE MINIMUM PERFORMANCE CRITERIA DEVELOPED FOR CERTIFICATION OF HIGH-EFFICIENCY TOILETS UNDER THE WATER SENSE PROGRAM ADOPTED BY THE EPA.
2. PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN CGBSC SECTIN 4.303.3
3. IN AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING ARE PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION, THEY SHALL COMPLY WITH THE REQUIREMENTS OF CGBSC SECTION 4.304.1
4. MINIMUM 50% OF THE NON-HAZARDOUS CONSTRUCTION OR DEMOLITION DEBRIS SHALL BE RECYCLED AND/OR SALVAGED, UNLESS A LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE IN MORE STRINGENT. WHERE THE LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION AND WASTE MANAGEMENT ORDINANCE, A CONSTRUCTION AND WASTE MANAGEMENT PLAN COMPLYING WITH CGBSC SECTION 4.408.2 SHALL BE SUBMITTED FOR APPROVAL
5. AT THE TIME OF FINAL INSPECTION, AN "OPERATION AND MAINTENANCE MANUAL" SHALL BE PLACED IN THE BUILDING THAT CONTAINS THE APPLICABLE ITEMS LISTED IN CGBSC SECTION 4.410.1.
6. INSTALLED GAS FIREPLACES SHALL BE DIRECT-VENT SEALED COMBUSTION TYPE (CGBSC 4.503.1)
7. DUCTS AND OTEHR RELATED AIR DISTRIBUTION EQUIPMENT SHALL HAVE OPENINGS COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER ACCEPTABLE METHODS. (CGBSC 4.504.1)
8. FINISH MATERIALS, CARPET SYSTEMS, RESILIENT FLOORING, AND COMPOSITE WOOD PRODUCTS SHALL COMPLY WITH THE POLLUTANT CONTROL REQUIREMENTS OF CGBSC SECTION 4.504.2 AND 4.504.3.  
 CARPET ADHESIVE = 50 (VOC LIMIT)  
 CARPET PAD ADHESIVE = 50 (VOC LIMIT)  
 WOOD FLOORING ADHESIVE = 100 (VOC LIMIT)  
 SUBFLOOR ADHESIVE = 50 (VOC LIMIT)  
 DRYWALL ADHESIVE = 50 (VOC LIMIT)
9. MOISTURE CONTENT OF WALL AND FLOOR FRAMING MEMBERS SHALL BE VERIFIED PRIOR TO ENCLOSURE, FRAMING MEMBERS SHALL NOT BE ENCLOSED WHEN MOISTURE CONTENT EXCEEDS 19% (CGBSC 4.505.3)
10. BATHROOM EXHAUST FANS SHALL COMPLY WITH THE FOLLOWING:  
 ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE OF BUILDING. UNLESS FUNCTIONING AS A PART OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50-80%.



**New Roof Plan**  
 1/4" = 1'-0"

2

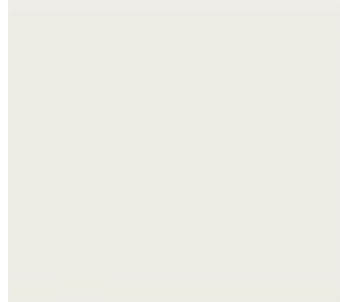
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**Payan Remodeled Residence**

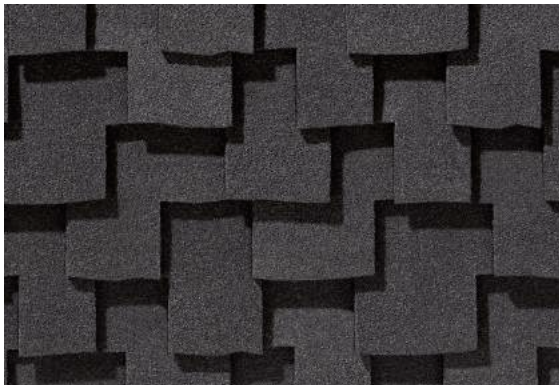
648 Pine Avenue  
Pacific Grove, California 93950



**Exterior Wood Siding** - Clapboard Wood Siding (2.5" Exposure) Color - SW 7004



**Exterior Color** - SW 7004 Snowbound



**Roofing** - Composition 50 Yr. roofing (Color: Charcoal)



**Entry Door Style**

**AST Design Group**

Aaron S. Tollefson (Designer)  
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[aarontolley@sbcglobal.net](mailto:aarontolley@sbcglobal.net)